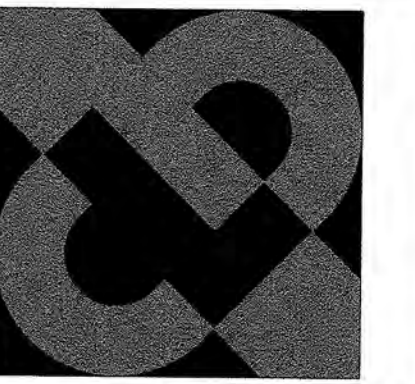


# THE LOFTS AT PARK AVE.

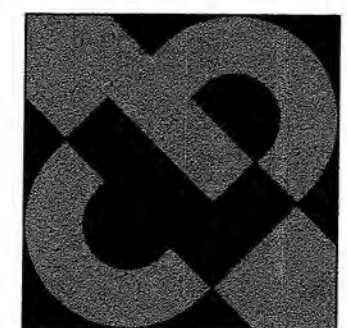


Coastal Land Design, PLLC  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

## 5744 Park Avenue Wilmington, North Carolina

**OWNER / DEVELOPER:**  
 TC IVEY PROPERTY, LLC  
 1308 BAYSIDE CIRCLE  
 WILMINGTON, NC 28405

**ENGINEER / LANDSCAPE ARCHITECT:**



**Coastal Land Design, PLLC**

Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management

NCBELS Firm License No: P-0369

P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 www.cldeng.com Fax: 910-254-0502

**ARCHITECT:**

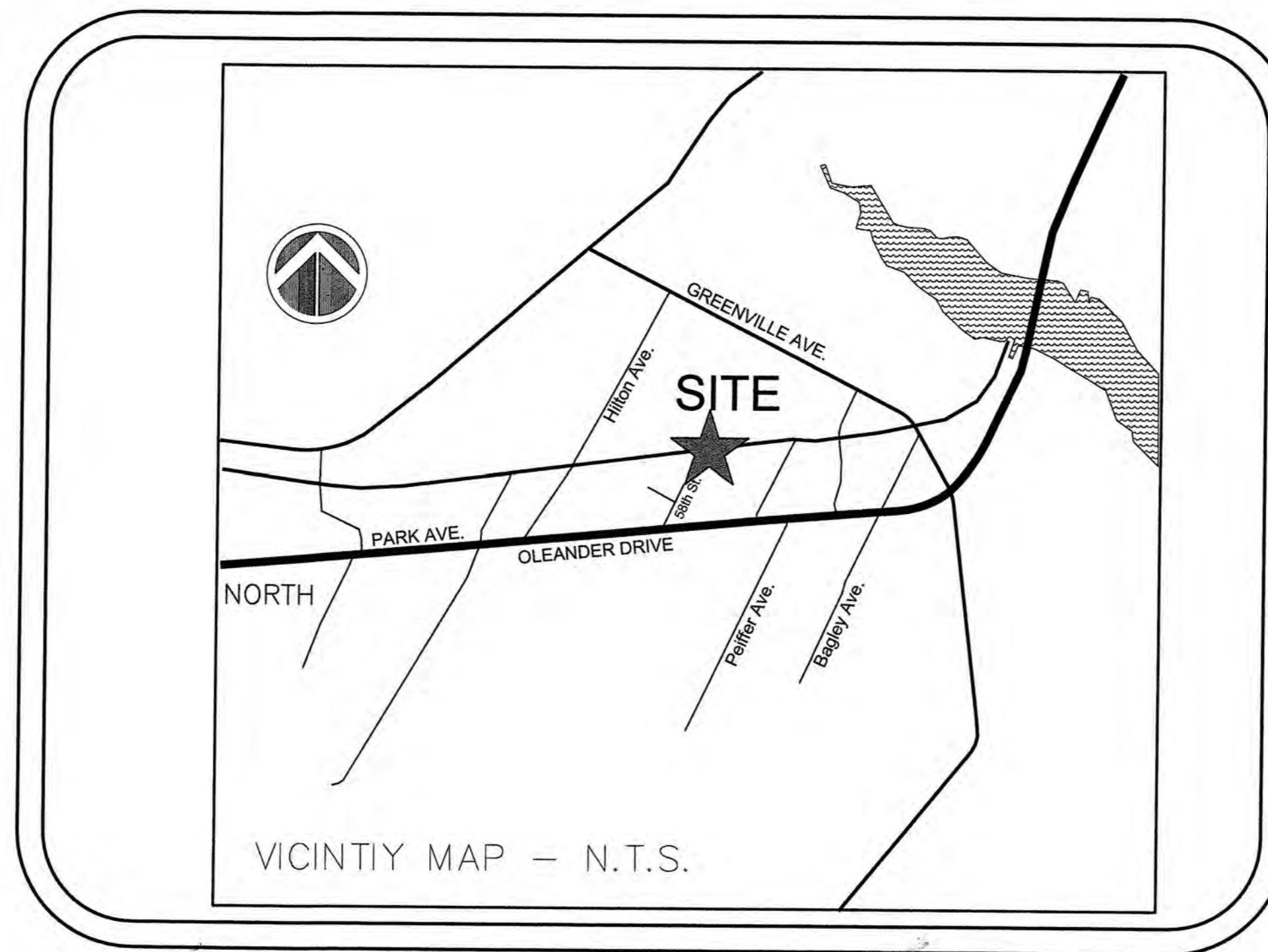
MARK GRESELL  
 215 SOUTH KERR AVENUE  
 WILMINGTON, NC 28403

**SURVEYOR:**

**Bateman Civil Survey Company**

Engineers Surveyors Planners

408 North Third Street, Wilmington, NC 28401 Ph: 910.772.9113 Fax: 910.772.9128  
 www.batemancivilsurvey.com info@batemancivilsurvey.com  
 NCBELS Firm No. C-2378



SHEET	NAME
	COVER
G-01	GENERAL NOTES
EX-01	EXISTING CONDITIONS
SP-01	SITE PLAN
SP-02	UTILITY PLAN
SP-03	GRADING/DRAINAGE PLAN
SP-04	ROOF DRAIN LEADER PLAN
CP-1	PLAN & PROFILE
DET-01	DETAILS
DET-02	DETAILS
DET-03	STORMWATER DETAILS
LA-01	LANDSCAPE PLAN
A-01	ARCHITECTURAL ELEVATIONS
LP-01	LIGHTING PLAN
TR-01	TREE REMOVAL PERMIT PLAN

The Lofts at Park Ave.  
 Wilmington, NC

COVER

REV	DATE	DESCRIPTION	INIT
B	12/4/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

**OWNER / DEVELOPER:**  
 TC IVEY PROPERTY, LLC  
 1308 BAYSIDE CIRCLE  
 WILMINGTON, NC 28405

Seal Redaction

REVIEW AGENCY	APPROVAL DATE	PERMIT NUMBER

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**BEFORE YOU DIG, CALL**  
 North Carolina 811  
 www.nc811.org

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

WILMINGTON  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: Nicole D Smith 12/10/19  
 Traffic: \_\_\_\_\_ 12-9-19  
 Fire: James Merritt 12-9-19

WILMINGTON  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: S-500

APPROVED: FB	PROJECT: 135-04
CHECKED: FB	SCALE: AS SHOWN
DESIGNED: NA	RELEASE: -

SHEET  
**COVER**

GENERAL DEVELOPMENT NOTES:

- 1. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
2. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
3. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. ANY PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
4. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
5. CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT (910) 341-7888 FORTY-EIGHT HOURS (48) PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
6. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING MUST BE REPLACED.
7. CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
8. PROJECT MUST COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL (910) 332-6419 FOR INFORMATION.
9. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE OR SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
10. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA'S CONNECTION CONTROL REGULATIONS. CALL (910) 332-6419 FOR INFORMATION.
11. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
12. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCOCHR OR ASSE.
13. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
14. PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NEITHER NCDOT OR THE CITY OF WILMINGTON WILL ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
15. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OR-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
16. INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
17. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE.
18. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING, OR STAGING MATERIALS WILL OCCUR IN THOSE AREAS.
19. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
20. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
21. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
22. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES, AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
24. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
25. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
26. UNDERGROUND FIRE LINES MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPT. FROM THE PUBLIC RIGHT OF WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPT. DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
27. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

CONSTRUCTION NOTES:

- 1. THE PROPERTY BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY SHOWN ON THESE PLANS WERE PROVIDED BY BATEMAN CIVIL SURVEY COMPANY, LOCATED AT 406 NORTH 3rd STREET WILMINGTON, NORTH CAROLINA, 28401.
2. THERE ARE NO WETLANDS ON THIS SITE.
3. THIS PROJECT WILL REQUIRE A TOTAL OF 0.97 ACRES (41,500 SF) OF DISTURBANCE.
4. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ABOVE AND BELOW GROUND BEFORE COMMENCING CONSTRUCTION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH DEMOLITION AND GRUBBING ACTIVITIES SHOWN ON THESE PLANS.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SEDIMENT-LADEN RUNOFF IS TREATED PRIOR TO BEING DISCHARGED FROM THE SITE AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES OF SEDIMENT CONTROL BASED UPON THE PERFORMANCE OF EROSION CONTROL MEASURES PROVIDED ON SITE.
7. THE PERIMETER OF THE SITE SHALL BE WRAPPED IN SEDIMENT FENCE AND HARDWARE CLOTH AND GRAVEL INLET PROTECTION SHALL BE PLACED OVER EACH PROPOSED DRAINAGE INLET DURING CONSTRUCTION ACTIVITIES.
8. DENUEED AREAS MUST BE STABILIZED BASED UPON THE GROUND STABILIZATION REQUIREMENTS PROVIDED ON THE APPROVED EROSION CONTROL DRAWINGS. THIS INCLUDES SLOPES, SWALES, CHANNELS, AND STOCKPILES.
9. ALL STORM DRAIN INFRASTRUCTURE MUST BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE OUTLET.

Table with 4 columns: LABEL, GROUND STABILIZATION, STABILIZATION TIME FRAME, STABILIZATION TIME FRAME EXEMPTIONS. Rows include SITE AREA DESCRIPTION, PERIMETER DIKES, SWALES, DITCHES AND SLOPES, HIGH QUALITY WATER (HQW) ZONES, SLOPES STEEPER THAN 3:1, SLOPES 3:1 OR FLATTER, ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1.

Table with 5 columns: GRASS TYPE, AMOUNT/1000 SF, TIME OF SEEDING, INITIAL, FERTILIZATION/1000 SF MAINTENANCE. Rows include RYE GRAIN, BROWNTOP MILLET.

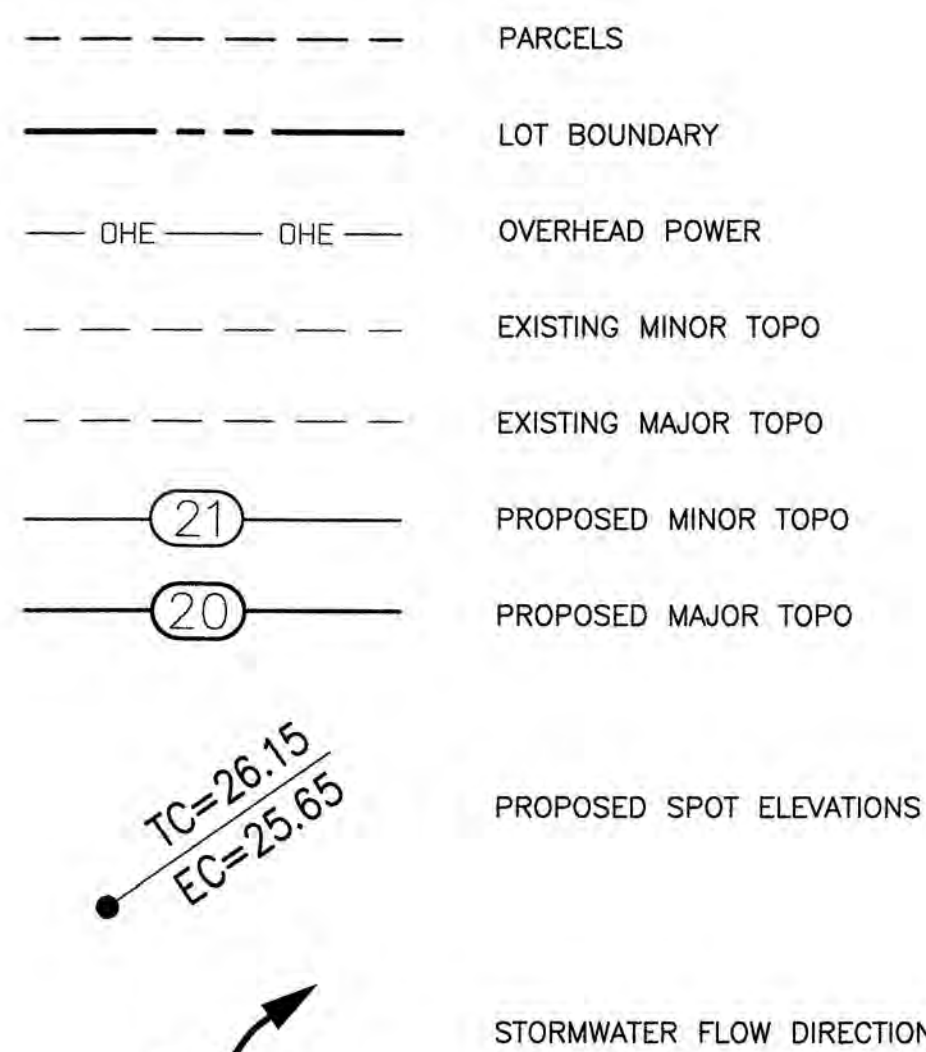
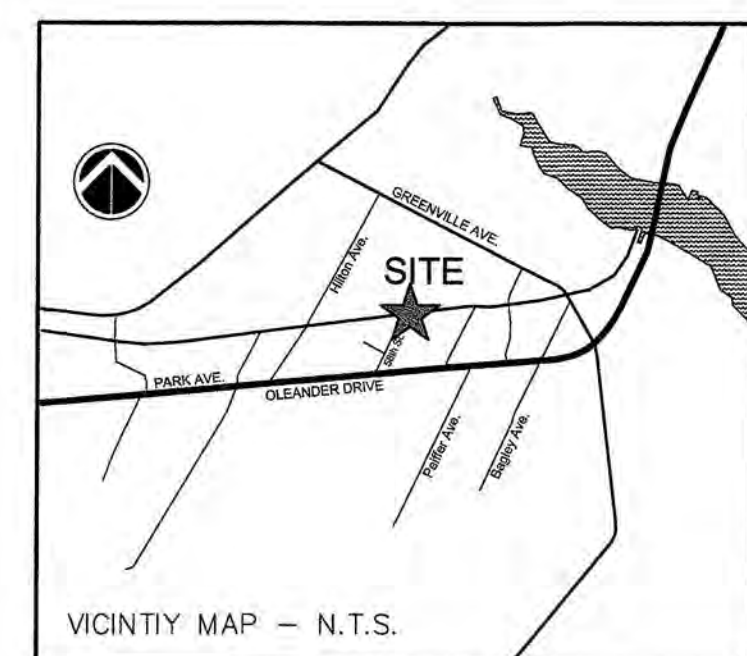
TEMPORARY SEEDING SCHEDULE

Table with 7 columns: GRASS TYPE, AMOUNT/1000 SF, TIME OF SEEDING, INITIAL, FERTILIZATION/1000 SF MAINTENANCE. Rows include BERMUUDA COMMON, FESCUE, TALL (KENTUCKY 31), SERICEA LESPEDEZA (SLOPES).

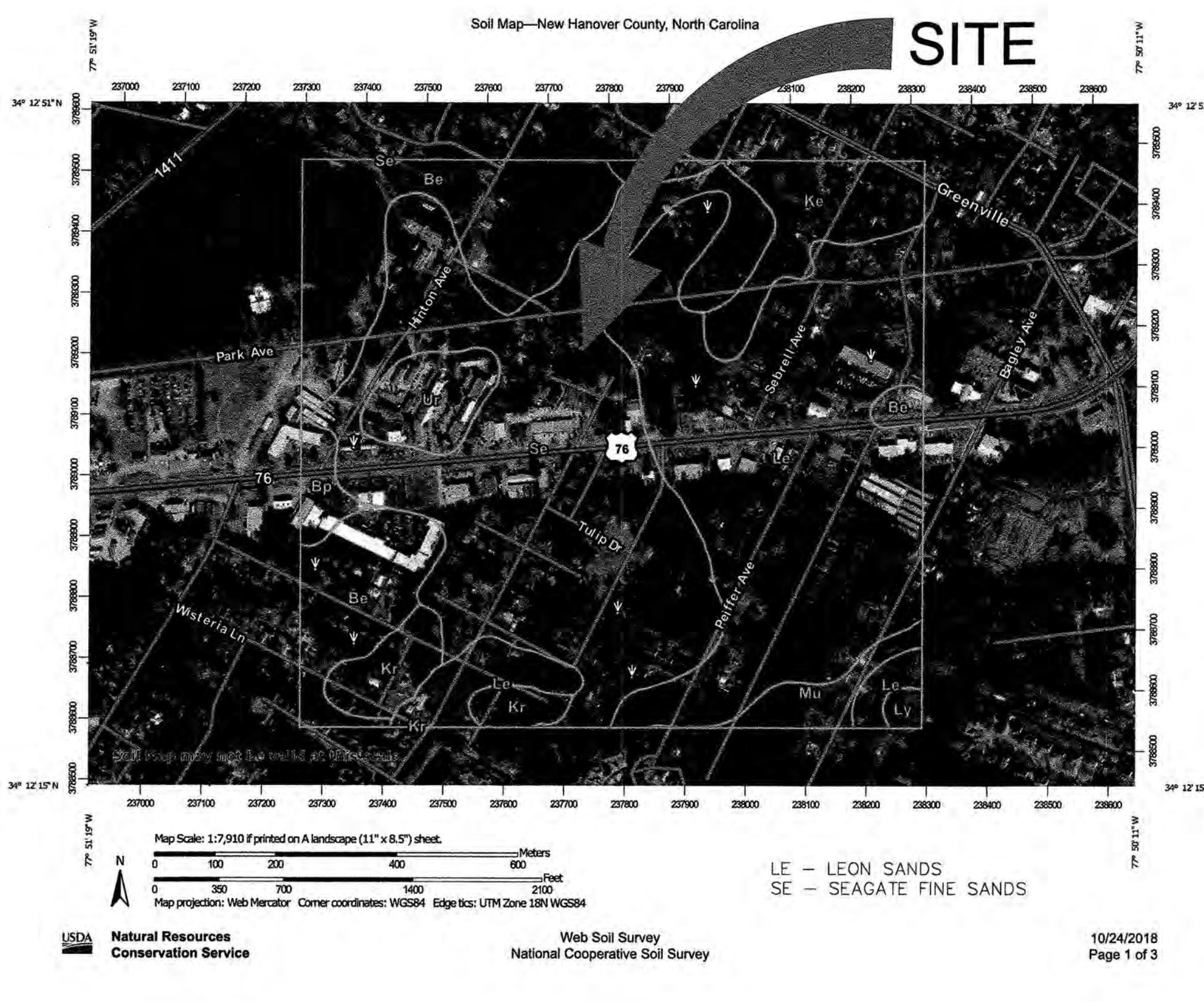
PERMANENT SEEDING SCHEDULE

LANDSCAPE NOTES

- 1. ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
3. CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
4. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. MULCH UNDER ALL PROPOSED TREES AND SHRUBS WITH SHREDDED HARDWOOD AT A 3"-4" DEPTH OR APPROVED EQUAL.
6. PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
7. THERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANG WHEN PARKING BLOCKS ARE NOT USED.
8. ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS WILL NEED TO BE A MINIMUM OF 24" HIGH AT TIME OF PLANTING.
9. ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED PER SEEDING SCHEDULE INCLUDED AS PART OF THE S&E PLANS.
10. THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
A. FERTILIZATION
B. PRUNNING WITHIN LIMITS
C. PEST CONTROL (OPTIONAL)
D. MULCHING
E. MOWING
F. PROTECTION OF ROOT ZONES
G. WATERING SCHEDULE FOR IRRIGATION SYSTEM
H. STAKE AT WIRE REMOVAL
I. PROTECTED TREE REGULATION



TC=28.15 EC=25.65



NCRS SOILS MAP

NTS

UTILITY SEPARATION NOTES:

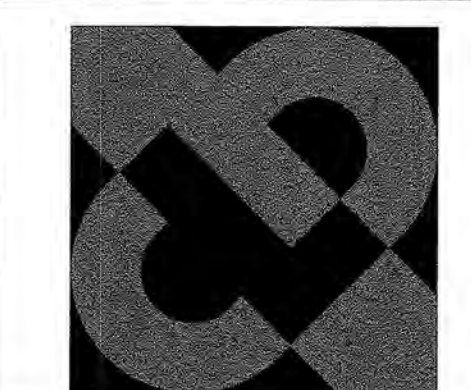
1) THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS FROM THE UTILITY COMPANY AND, WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY.

15A NCAC 18C .0904: PIPE LAYING (AMENDED EFFECTIVE JULY 1, 2019)

- (A) TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE ACCOMPLISHED IN A MANNER TO PREVENT DAMAGE TO AND MISALIGNMENT OF THE PIPE. WATER MAINS SHALL BE BURIED TO A DEPTH BELOW THE FROST LINE OR TO A DEPTH SUFFICIENT TO PROVIDE A MINIMUM OF 30 INCHES COVER, WHICHEVER IS GREATER. IN CASES WHERE IT IS IMPRACTICABLE TO PROVIDE 30 INCHES OF COVER TAKING INTO CONSIDERATION FEASIBILITY AND COST, A DEVIATION MAY BE APPROVED ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER INCLUDING CONSIDERATION OF PIPE MATERIAL, COVER MATERIAL, LAND COVER, LAND USE, LAND SLOPE, THE DEPTH OF THE FROST LINE, AND THE LOCATION OF OTHER UTILITIES.
(B) TO ALLOW FOR CONSTRUCTION AND REPAIR, A MINIMUM DISTANCE OF 12 INCHES SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF OTHER UTILITIES.
15A NCAC 18C .0906: RELATION OF WATER MAINS TO NON-POTABLE WATER LINES (AMENDED EFFECTIVE JULY 1, 2019)
(A) FOR THE PURPOSES OF THIS RULE, SEWER SHALL MEAN ANY EXISTING OR PROPOSED GRAVITY OR FORCE MAIN USED TO CONVEY SANITARY OR INDUSTRIAL PROCESS WASTE.
(B) LATERAL SEPARATION OF SEWERS AND WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT LATERAL SEPARATION, IN WHICH CASE:
(1) THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR
(2) THE WATER MAIN SHALL BE LAID IN THE SAME TRENCH AS THE SEWER, WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
(C) CROSSINGS. A WATER MAIN THAT CROSSES A SEWER SHALL BE LAID A MINIMUM VERTICAL DISTANCE OF 18 INCHES FROM THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER, EITHER ABOVE OR BELOW THE SEWER, WITH PREFERENCE TO THE WATER MAIN LOCATED ABOVE THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
(D) WATER MAINS AND STORM SEWER PIPES. PIPES CARRYING STORM DRAINAGE SHALL BE SEPARATED FROM WATER LINES IN ACCORDANCE WITH RULE .0904 OF THIS SECTION.
(E) WATER MAINS AND RECLAIMED WATER DISTRIBUTION LINES. WATER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM OR AT LEAST 18 INCHES ABOVE WATER PIPES CARRYING TREATED AND DISINFECTED WASTEWATER IN RECLAIMED WATER DISTRIBUTION LINES. CROSSINGS SHALL BE MADE IN ACCORDANCE WITH PARAGRAPH (C) OF THIS RULE.

UTILITY MATERIAL SPECIFICATIONS

- 1. WATER AND SEWER UTILITIES MATERIALS AND INSTALLATION SHALL BE PER THE CURRENT CAPE FEAR PUBLIC UTILITY AUTHORITY DESIGN MANUAL AND STANDARD SPECIFICATIONS PROVIDED ONLINE ON THEIR WEB PAGE.
2. UNLESS OTHERWISE NOTED ON THE PLANS, STORM DRAIN PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). RCP SHALL MEET OR EXCEED ASTM-C76, AASHTO-M170, AND NCDOT STANDARDS AND REINFORCED IN ACCORDANCE WITH APPLICABLE STANDARDS BY ASTM WALL B AND CLASS III, IV, AND V (SEE PLANS FOR CLASSIFICATION).



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.cldesign.com

The Lofts at Park Ave.
Wilmington, NC

GENERAL NOTES

Table with 4 columns: NA, NA, INT, INT. Includes SIGNATURE SET, INITIAL TRC REVIEW, DATE, and DESCRIPTION.

OWNER:
TC Ivey Properties, LLC
1308 Bayside Circle
Wilmington, NC 28405

Seal Redaction

Approved Construction Plan
City of Wilmington
Planning: Nicole Demuth 12/10/19
Traffic: 5-27-19 12-9-19
Fire: James Menuth 12-9-19
APPROVED DRAINAGE PLAN
Date: 12-9-19 Permit #: 2019065
Signed: S-FRR

ISSUED FOR AGENCY REVIEW ONLY

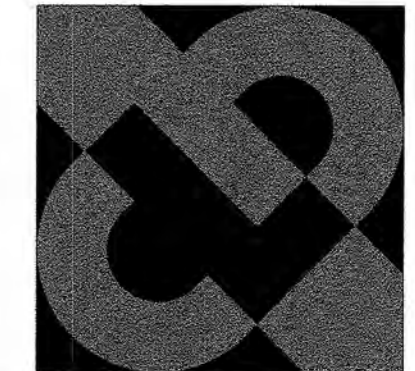
NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL



Table with 2 columns: APPROVED/CHECKED/DESIGNED (JP/FB/NA), PROJECT/SCALE/RELEASE (135-04/AS SHOWN/AIN)

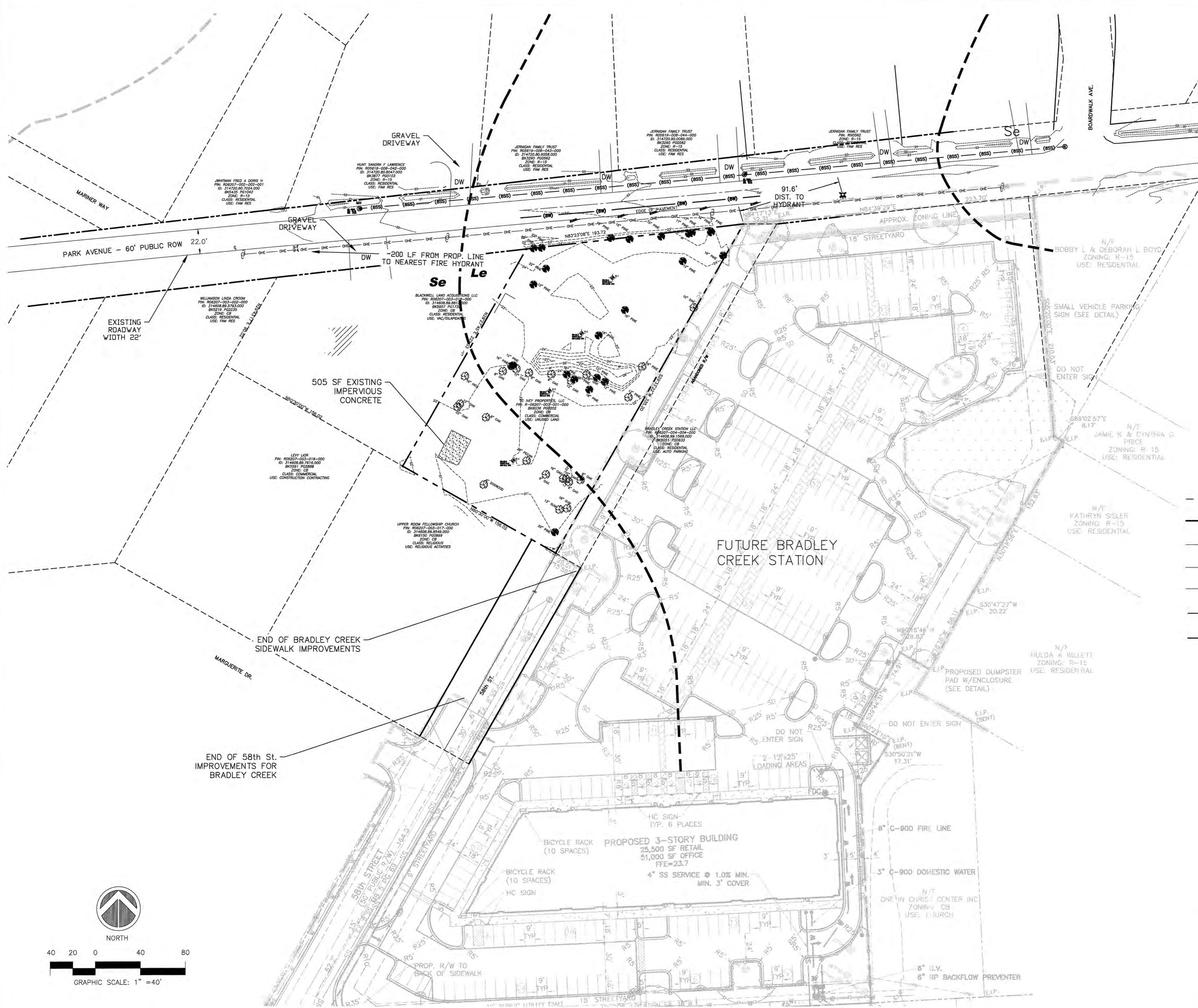
SHEET
G-01



**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cdang.com

**The Lofts at Park Ave.  
 Wilmington, NC**

**EXISTING CONDITIONS**



- PARCELS
- LOT BOUNDARY
- OHE --- OHE --- OVERHEAD POWER
- EXISTING MINOR TOPO
- EXISTING MAJOR TOPO
- (S) --- EXISTING SANITARY SEWER
- W --- EXISTING WATER

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON**  
 Approved Construction Plan  
 Name: *Mark Smith* Date: *12/10/19*  
 Planning: *Mark Smith* 12-9-19  
 Traffic: *W. Smith* 12-9-19  
 Fire: *James Marshall* 12-9-19

**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: *12-9-19* Permit # *2019065*  
 Signed: *E. Fox*

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

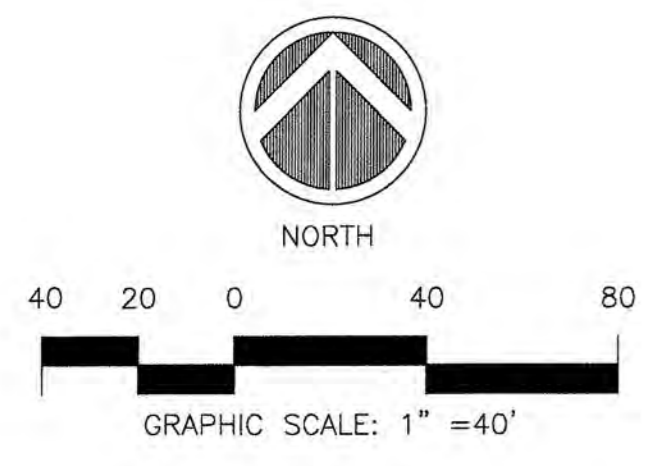
REV	DATE	DESCRIPTION	INIT
B	12/14/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

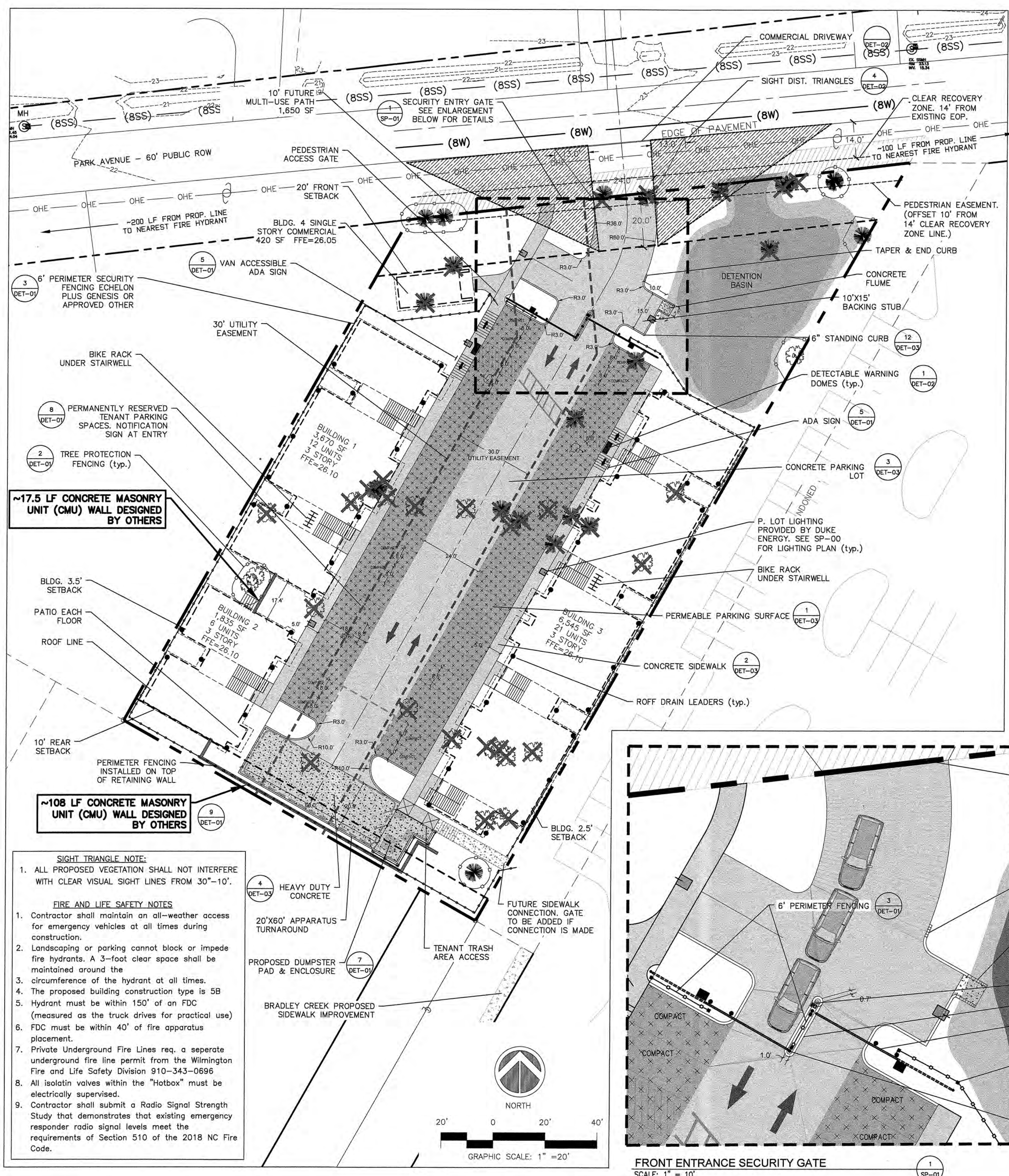
TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

Seal Redaction

APPROVED: JP	PROJECT: 135-04
CHECKED: FB	SCALE: 1"=20'
DESIGNED: NA	RELEASE: AIN

SHEET  
**EX-01**





~17.5 LF CONCRETE MASONRY UNIT (CMU) WALL DESIGNED BY OTHERS

~108 LF CONCRETE MASONRY UNIT (CMU) WALL DESIGNED BY OTHERS

- SIGHT TRIANGLE NOTE:**
- ALL PROPOSED VEGETATION SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- FIRE AND LIFE SAFETY NOTES**
- Contractor shall maintain an all-weather access for emergency vehicles at all times during construction.
  - Landscaping or parking cannot block or impede fire hydrants. A 3-foot clear space shall be maintained around the hydrant at all times.
  - The proposed building construction type is 5B (measured as the truck drives for practical use).
  - Hydrant must be within 150' of an FDC.
  - FDC must be within 40' of fire apparatus placement.
  - Private Underground Fire Lines req. a separate underground fire line permit from the Wilmington Fire and Life Safety Division 910-343-0696
  - All isolatin valves within the "Hotbox" must be electrically supervised.
  - Contractor shall submit a Radio Signal Strength Study that demonstrates that existing emergency responder radio signal levels meet the requirements of Section 510 of the 2018 NC Fire Code.

### SITE DATA

ADDRESS: 5744 PARK AVENUE WILMINGTON, NC 28403  
 OWNER: TC IVEY PROPERTIES, LLC  
 TAX ID: 1308 BAYSIDE CIRCLE WILMINGTON, NC 28408  
 DEED: PIN: R-08207-003-001-000  
 ZONING: CB - COMMUNITY BUSINESS  
 PARCEL SIZE: 0.97 ACRES  
 WETLANDS: NONE  
 FLOOD ZONE: ZONE X  
 CAMA LAND USE: WATERSHED RESOURCE PROTECTION AREA  
 CURRENT USE: UNUSED LAND  
 PROPOSED USE: OFFICE/RETAIL AND MULTI FAMILY RESIDENTIAL

### SETBACKS

SETBACK STANDARDS	REQUIRED	PROVIDED
FRONT SETBACK	20 FT	20 FT
REAR SETBACK	10 FT	10 FT
SIDE SETBACK	0 FT	2.5 & 3.5 FT

### BUILDING DATA

MAX HEIGHT: 45'  
 MAX STORIES: 3 STORIES  
 CONSTRUCTION TYPE: WOOD FRAME 5B

MAX COVERAGE: 30% BUILDING COVERAGE  
 42,253 SF X 0.3 = 12,675 SF

PRO COVERAGE: APPROX 12,470 SF (28% COVERAGE)

PRO USE: MULTI FAMILY RESIDENTIAL, COMMERCIAL OFFICE, AMENITY AREA/LEASING OFFICE

BLDG	STORIES	RES. UNITS	RES. SF	COMM. SF	FLOOR
BLDG 1	3	12	8,400sf	-	2,800 SF/FLOOR
BLDG 2	3	6	4,200sf	-	1,400 SF/FLOOR
BLDG 3	3	21	14,700sf	-	4,900 SF/FLOOR
BLDG 4	1	1	420sf	-	-
TOTAL			27,720 SF GFA		

ALL RES. UNITS ARE 700 SF PER FLOOR

### PARKING DATA

REQ PARKING:	MF MIN.	OFFICE MIN.	TOTAL MIN REQ'D	MAX
	= 39	= 1	= 40	98
				100

PRO PARKING: 43 SPACES  
 \*PER COMMERCIAL DISTRICT MIXED USE (CDMU) - SEC 18-257 (E)

PRO COMPACT SPACES: 25% OF TOTAL SPACES REQ.  
 .25 X 43 = 10 SPACES

ADA PARKING SPACES: REQ'D.....2  
 PROVIDED.....2

BICYCLE PARKING: 5 PER 25 VEHICLE SPACES  
 REQ'D.....10  
 PROVIDED.....10

**PARKING NOTE:** As per Sec. 18-257(e) One dedicated parking space shall be provided per dwelling unit. Spaces should be clearly designated or preserved for residential tenants only.

### UTILITY DATA

PUBLIC WATER & SEWER PROVIDED BY CFPWA

**EXISTING WATER USE (GPD):**  
 RESIDENTIAL UNITS = 0 GPD  
 COMMERCIAL BLDG = 0 GPD

**PROPOSED WATER USE (GPD):**  
 RESIDENTIAL UNITS = 9,360 GPD (240 GPD PER UNIT)  
 COMMERCIAL BLDG = 50 GPD

### BUA PLAN

OFFSITE IMPERVIOUS 753 SF  
 CURB 205 SF  
 BLDG. ALL 13,485 SF (ROOFLINE)  
 CONCRETE SIDEWALK 2,159 SF

P.C. PARKING STALLS: 6,408 SF  
 CONCRETE PARKING: 7,836 SF

\* THIS PROJECT EXCEEDS THE 25% ALLOWABLE IMPERVIOUS AREA AND IS SUBJECT TO ADDITIONAL DEVELOPMENT REQUIREMENTS UNDER ARTICLE 10- EXCEPTIONALLY DESIGNED PROJECTS

### BUILDING/ IMPERVIOUS AREA

IMPERVIOUS AREA CALCULATIONS

TOTAL SITE AREA: 42,253 SF

EXISTING IMPERVIOUS AREA

CONCRETE:	505 SF
TOTAL:	505 SF
% IMPERVIOUS:	1%

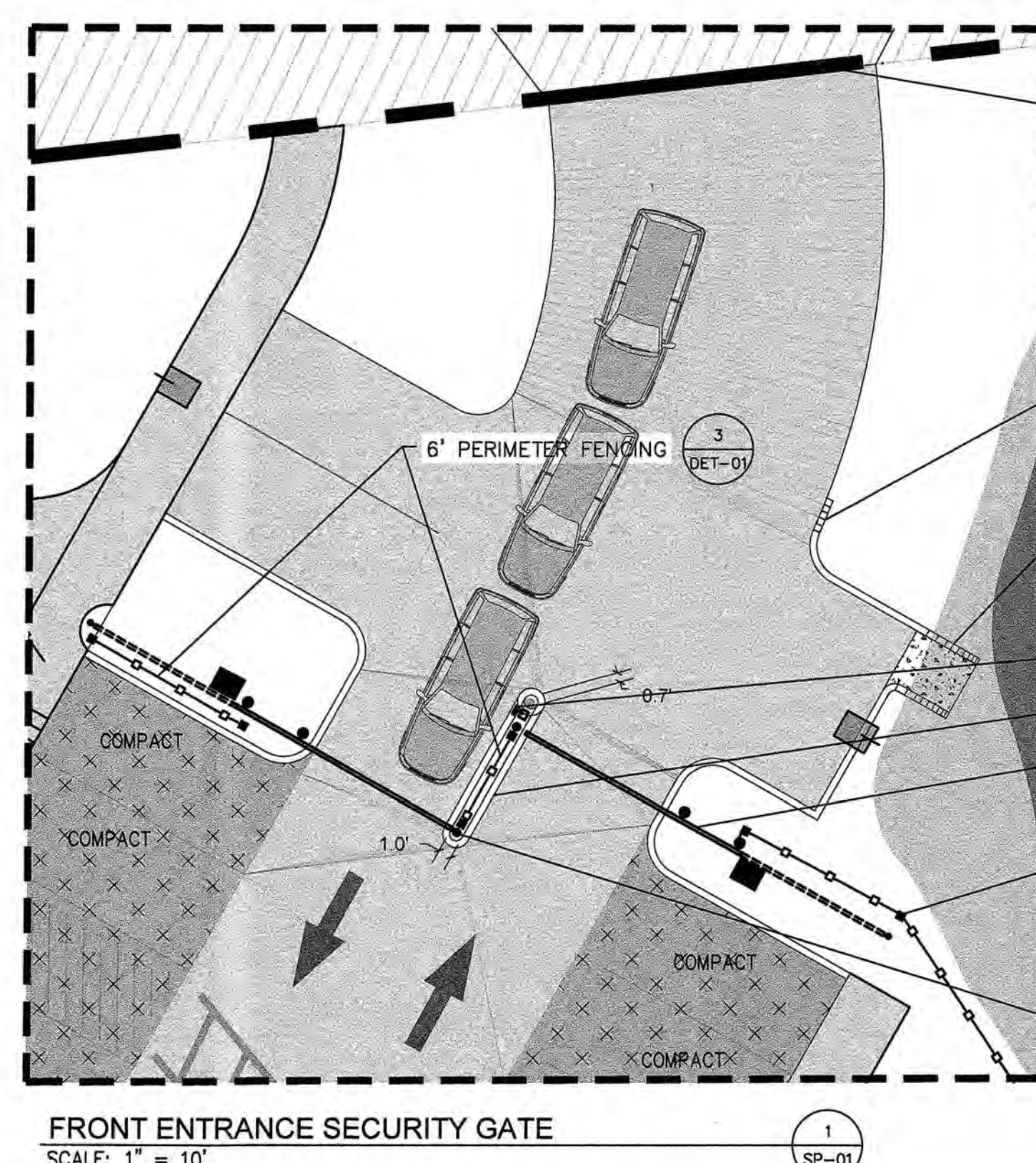
ON-SITE TAKE-OFF

ALL BUILDINGS (ROOFLINE)	AREA	CREDIT	PERMIT
ALL BUILDINGS (ROOFLINE)	13,485 SF	NONE	13,485
STANDING CURB	205 SF	NONE	205
CONCRETE PARKING	7,836 SF	NONE	7,836
CONCRETE SIDEWALK	2,159 SF	NONE	2,159
P.C. PARKING STALLS	6,408 SF	100%	NONE
TOTAL	30,093 SF	-	6,408 = 23,685

PROPOSED IMPERVIOUS AREA = 23,685 (56% IMPERVIOUS)

OFFSITE NEWLY CONSTRUCTED IMPERVIOUS AREA

DRIVEWAY APRON	753 SF
MULTI-USE PATH	1,650 SF
TOTAL	2,403 SF



FRONT ENTRANCE SECURITY GATE  
 SCALE: 1" = 10'

### WATERSHED RESOURCE PROTECTION AREA EXCEPTIONAL DESIGN CREDIT CALCULATIONS

ALLOWED IMPERVIOUS PERCENTAGE	25%
PROPOSED IMPERVIOUS PERCENTAGE	56%
62 POINTS NEEDED FOR 56% IMP. AREA	
% Decreased Paved Area Calc.	
6,408 (PERM. CREDIT) / 16,808 (TOTAL PAVED AREA) = .39	
CREDIT (TABLE 2 SEC. 18-544)	
E. Stormwater Retention: 5/10/25 yr Storm	10 pts
G. Sight Design LID	15 pts
H. Decreased Impervious Surface = 39%	15 pts
I. 100% Xeric Landscape	25 pts
TOTAL POINTS=	65
DENSITY ALLOWANCE (TABLE 1. 18-544)	
ALLOWED IMP. AREA WITH XERISCAPE CREDIT, STORMWATER RETENTION & POROUS SURFACE CREDIT APPLIED.....	56.0%

\* THIS PROJECT WILL HAVE A TOTAL AREA OF DISTURBANCE EQUAL TO 0.97 ACRES (41,500 SF).

Approved Construction Plan  
 None Date  
 Planning: *Michelle Smith* 12/10/19  
 Traffic: *John DeLoach* 12-9-19  
 Fire: *John DeLoach* 12-9-19

City of WILMINGTON  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: *E. F. R.*

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL  
 North Carolina 811  
 www.nc811.org

Coastal Land Design, PLLC  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0399  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldng.com

The Lofts at Park Ave.  
 Wilmington, NC

PRELIMINARY  
 SITE PLAN

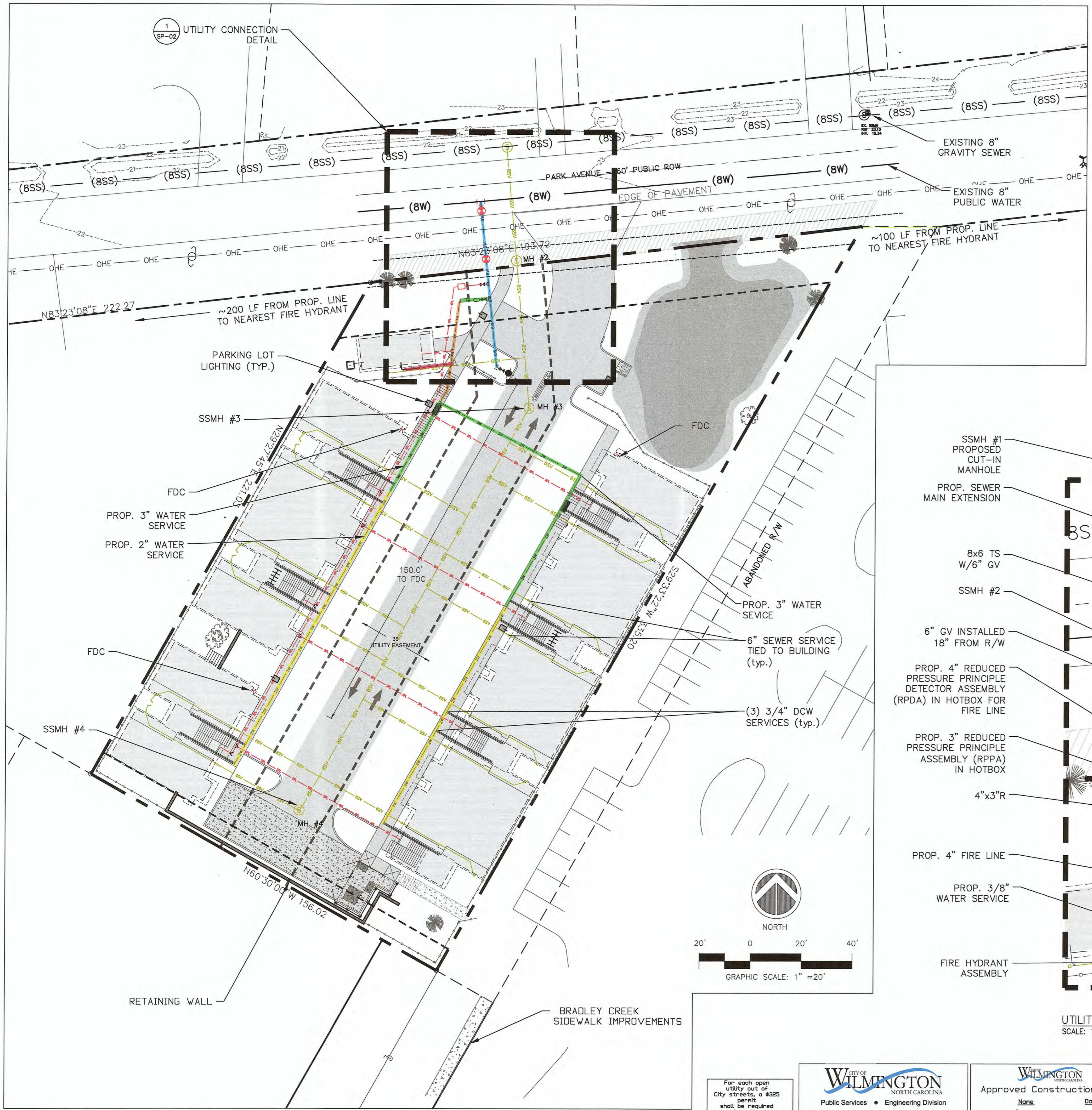
REV	DATE	DESCRIPTION
E	12/4/19	SIGNATURE SET
D	11/19/19	4th TRC REVIEW
C	9/17/19	3rd TRC REVIEW
B	7/25/19	2nd TRC REVIEW
A	5/17/19	INITIAL TRC REVIEW

TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

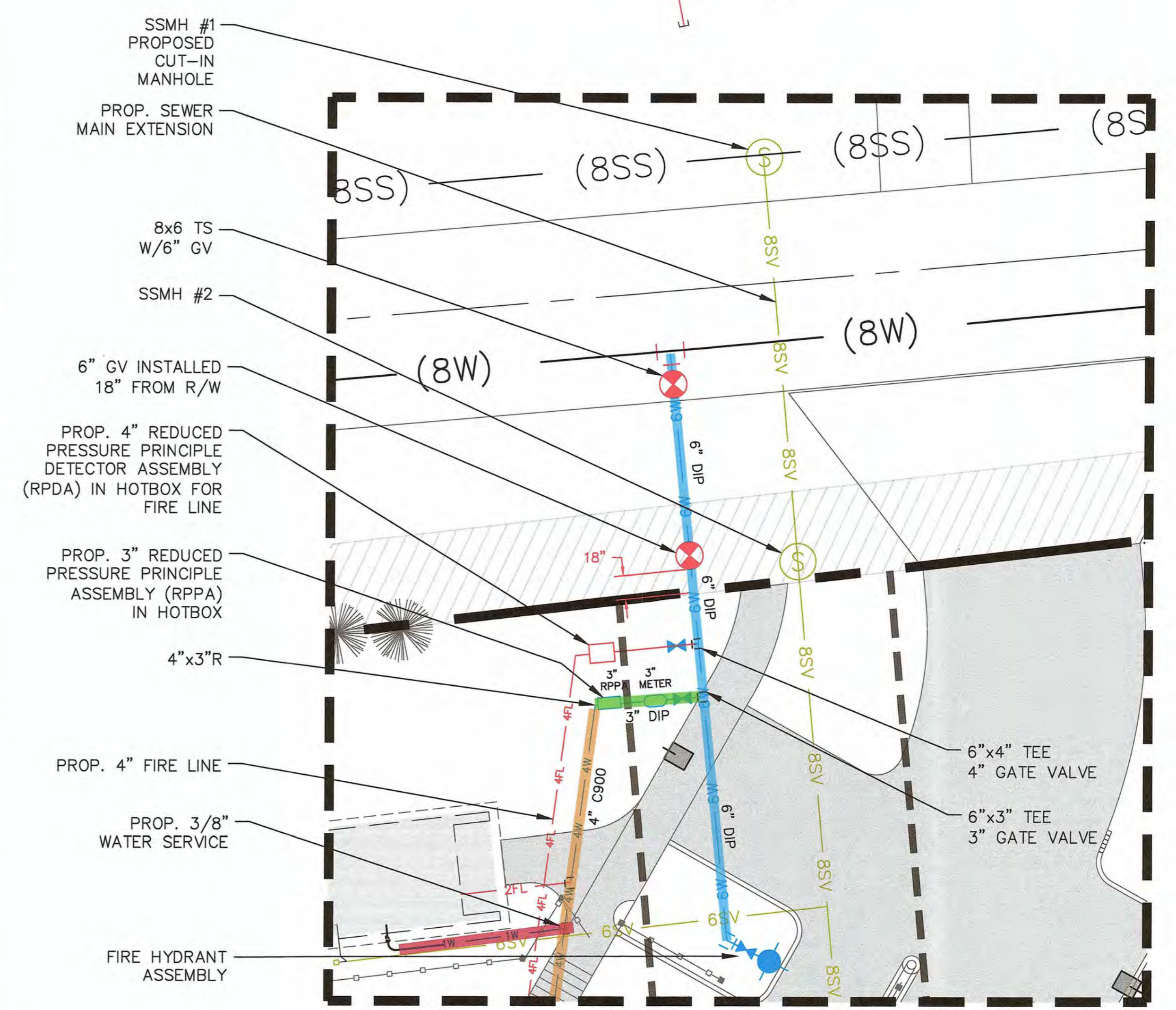
Seal Redaction

APPROVED: *JP* PROJECT: 135-04  
 CHECKED: FB SCALE: AS SHOWN  
 DESIGNED: NA RELEASE: AIN

SHEET  
 SP-01



- (8SS) (8SS) EX. 8" GRAVITY SEWER
- (8W) (8W) EX. WATER SERVICE
- OHE OHE EX. OVERHEAD POWER
- W W PROP. WATER SERVICE
- 8SV 8SV PROP. 8" SEWER MAIN EXTENSION
- 4FL 4FL PROP. 4" FIRE LINE
- 2FL 2FL PROP. 2" FIRE LINE
- 6W 6W PROP. 6" WATER MAIN - DIP PC350
- 1W 1W PROP. 1" WATER SERVICE - HDPE DR-9
- 2W 2W PROP. 2" WATER SERVICE - HDPE DR-9
- 3W 3W PROP. 3" WATER SERVICE - C-900 DR-18
- 4W 4W PROP. 4" WATER SERVICE - C-900 DR-18
- 6SV 6SV PROP. 6" SEWER
- HYDRANT
- FDC



UTILITY CONNECTION DETAIL  
SCALE: 1"=10'

**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

The Lofts at Park Ave.  
 Wilmington, NC  
 UTILITY PLAN

REV	DATE	DESCRIPTION	INIT
B	12/4/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

Seal Redaction

APPROVED: JP PROJECT: 135-04  
 CHECKED: FB SCALE: 1"=20'  
 DESIGNED: NA RELEASE: INITIAL TRC

SHEET  
 SP-02

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: *[Signature]*

**WILMINGTON**  
 NORTH CAROLINA  
 Approved Construction Plan  
 Name: *[Name]* Date: *[Date]*  
 Planning: *[Signature]* 12/10/19  
 Traffic: *[Signature]* 12-9-19  
 Fire: *[Signature]* 12-9-19

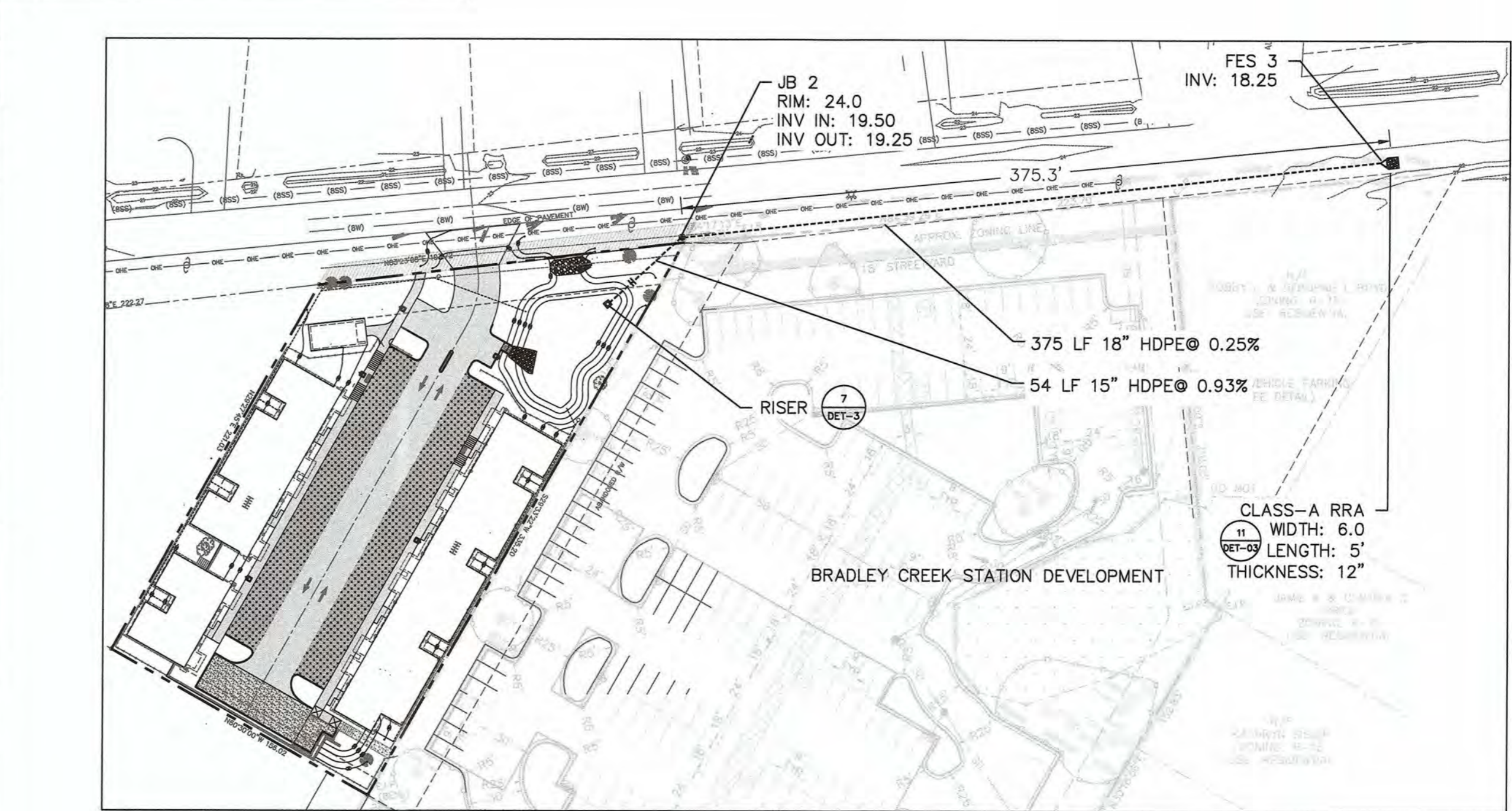
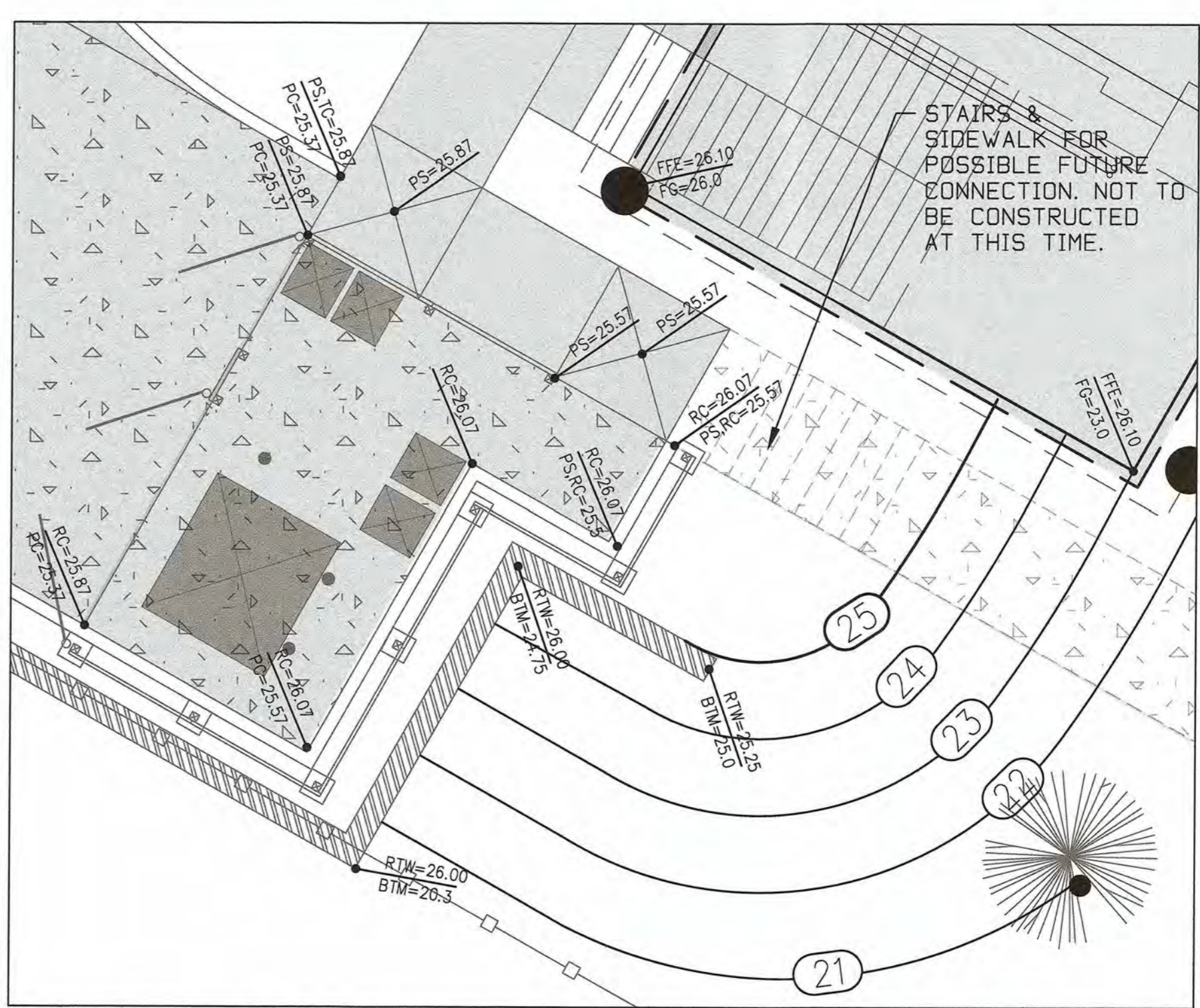
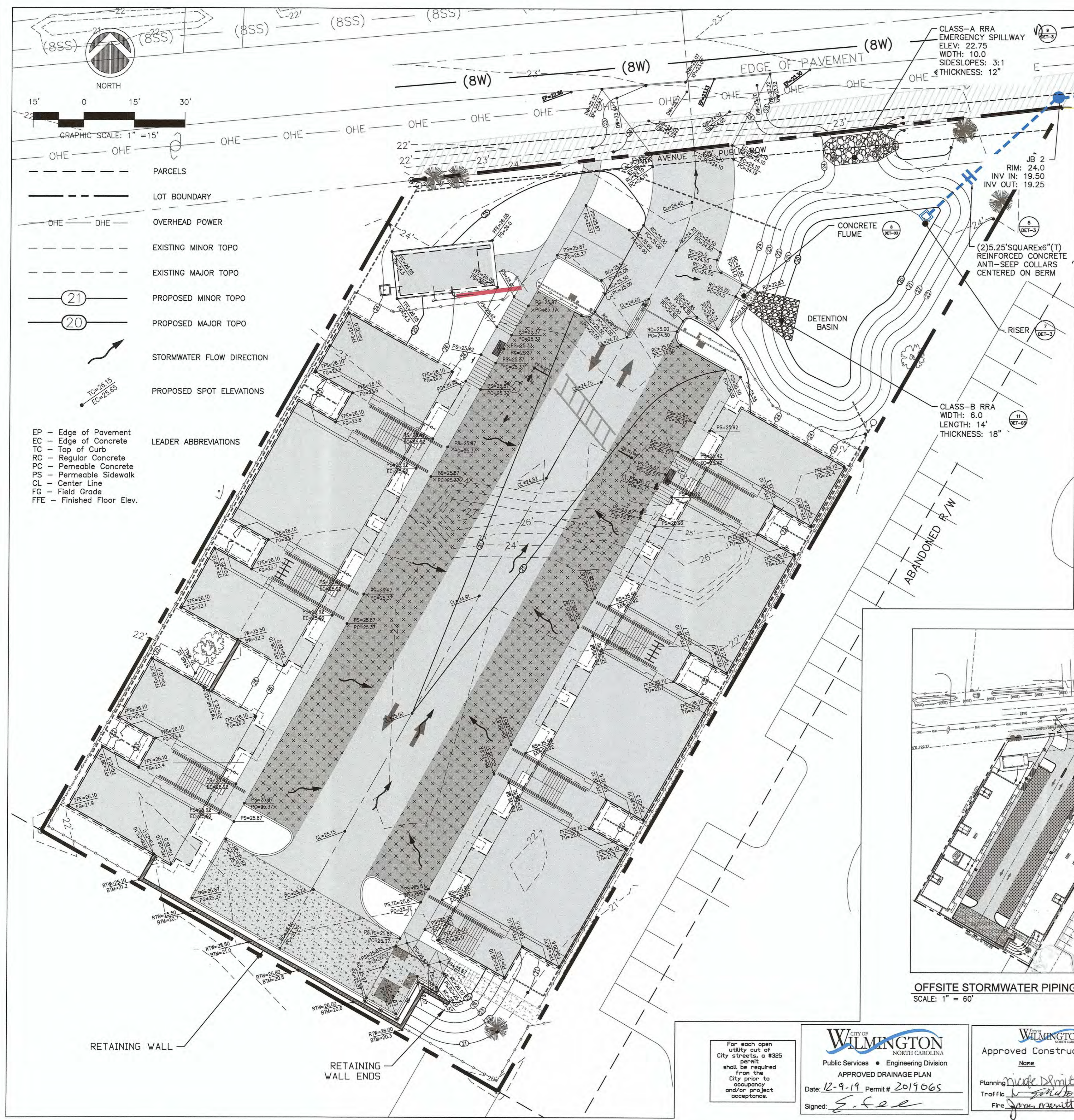
ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**

**North Carolina 811**  
 www.nc811.org

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



- GRAPHIC SCALE: 1" = 15'
- PARCELS
- LOT BOUNDARY
- OVERHEAD POWER
- EXISTING MINOR TOPO
- EXISTING MAJOR TOPO
- PROPOSED MINOR TOPO
- PROPOSED MAJOR TOPO
- STORMWATER FLOW DIRECTION
- PROPOSED SPOT ELEVATIONS
- LEADER ABBREVIATIONS
- EP - Edge of Pavement
  - EC - Edge of Concrete
  - TC - Top of Curb
  - RC - Regular Concrete
  - PC - Permeable Concrete
  - PS - Permeable Sidewalk
  - CL - Center Line
  - FG - Field Grade
  - FFE - Finished Floor Elev.

**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldeng.com

The Lofts at Park Ave.  
Wilmington, NC

PRELIMINARY  
GRADING PLAN

REV	DATE	DESCRIPTION	INIT
B	12/4/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

TC Ivey Properties, LLC  
1308 Bayside Circle  
Wilmington, NC 28405

Seal Redaction

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 12-9-19 Permit # 2019065  
Signed: *S. Lee*

**WILMINGTON**  
NORTH CAROLINA  
Approved Construction Plan  
Name: *Nicole DeMont* Date: *12/10/19*  
Planning: *Nicole DeMont* 12/10/19  
Traffic: *John Smith* 12/9/19  
Fire: *John Smith* 12/9/19

ISSUED FOR AGENCY REVIEW ONLY

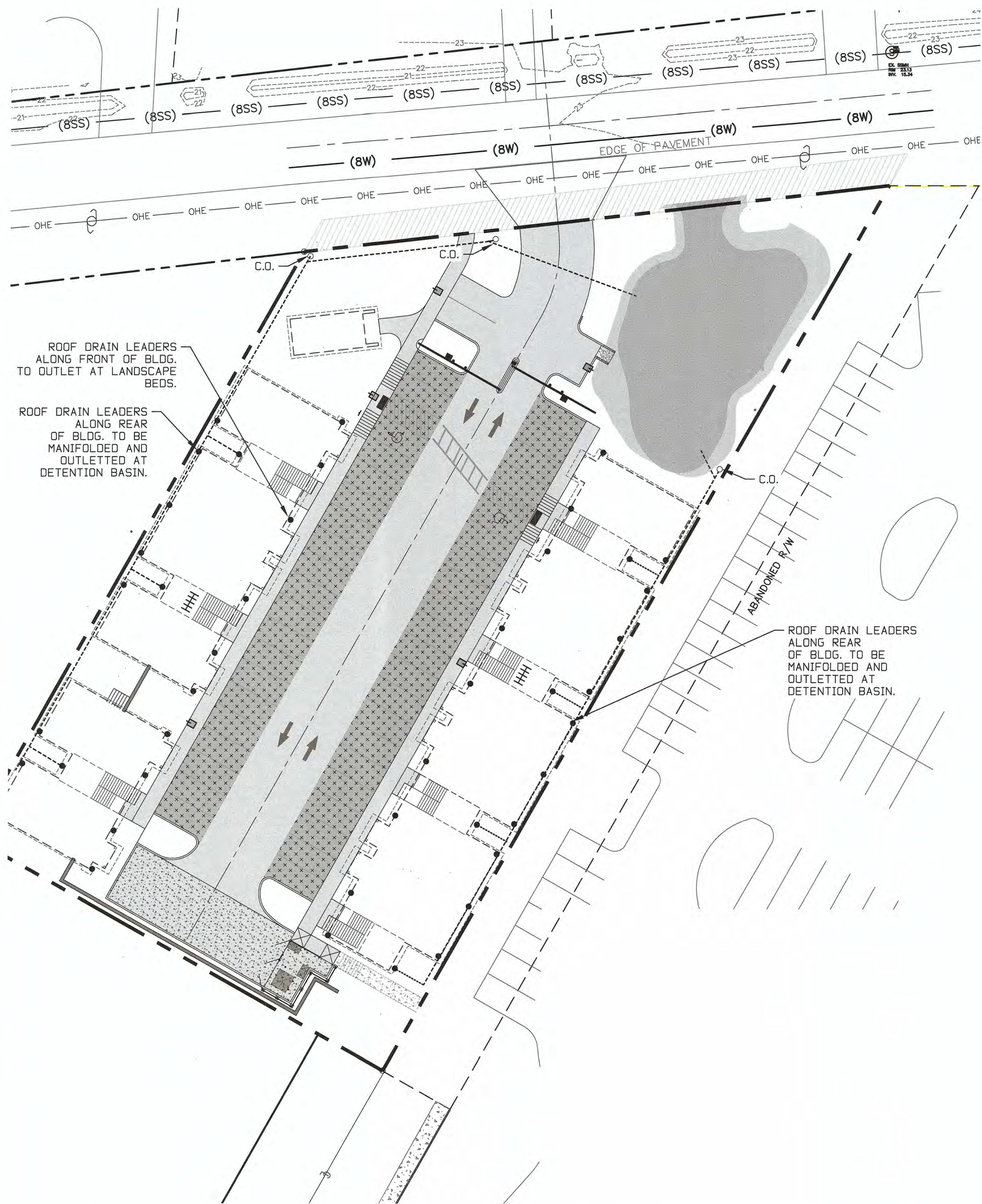
NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**

**North Carolina 811**  
www.nc811.org

CHECKED: FB SCALE: 1"=20'  
DESIGNED: NA RELEASE: AIN

SHEET  
SP-03



ROOF DRAIN LEADER DIAGRAM  
SCALE: 1" = 20'



**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldeng.com

The Lofts at Park Ave.  
Wilmington, NC

ROOF DRAIN LEADER  
PLAN

REV	DATE	DESCRIPTION	INIT
B	12/4/19	SIGNATURE SET	MA
A	5/17/19	INITIAL TRC REVIEW	NA

TC Ivey Properties, LLC  
1308 Bayside Circle  
Wilmington, NC 28405

Seal Redaction

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 12-9-19 Permit # 2019065  
Signed: *[Signature]*

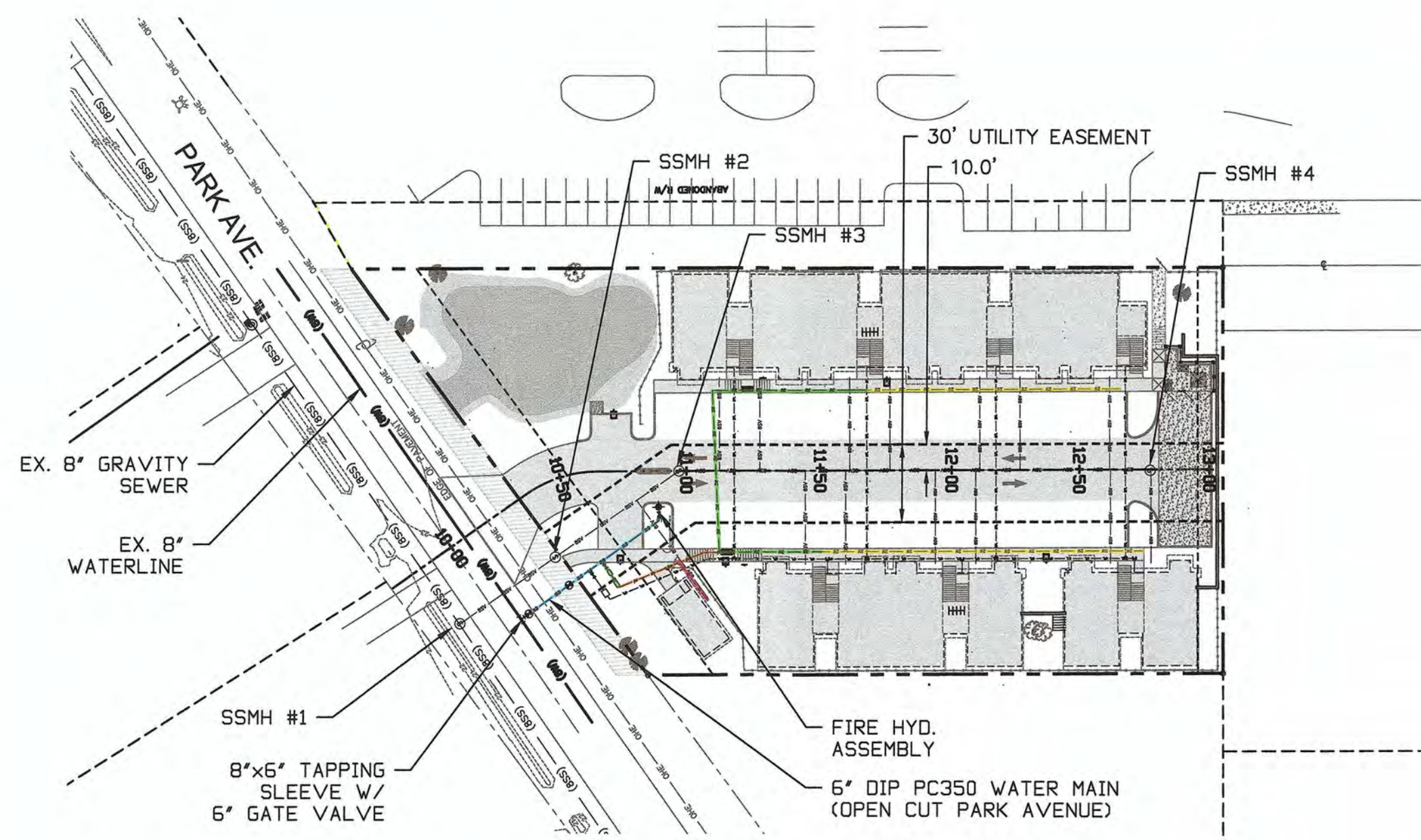
**WILMINGTON**  
APPROVED CONSTRUCTION PLAN  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: *Nicole Smith 12/10/19*  
Traffic: *SM 12-9-19*  
Fire: *Jane Murch 12-9-19*

ISSUED FOR AGENCY REVIEW ONLY  
  
NOT RELEASED FOR CONSTRUCTION

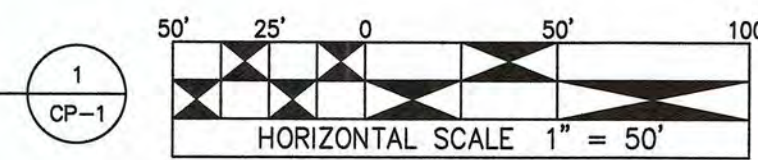
**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
www.nc811.org

APPROVED:	JP	PROJECT:	135-04
CHECKED:	FB	SCALE:	1"=20'
DESIGNED:	NA	RELEASE:	AIN

SHEET  
SP-04



THE LOSTS AT PARK AVENUE  
 STA: 9+50 THRU 13+00  
 1" = 50' (ON 24" X 36" PLAN SHEET)

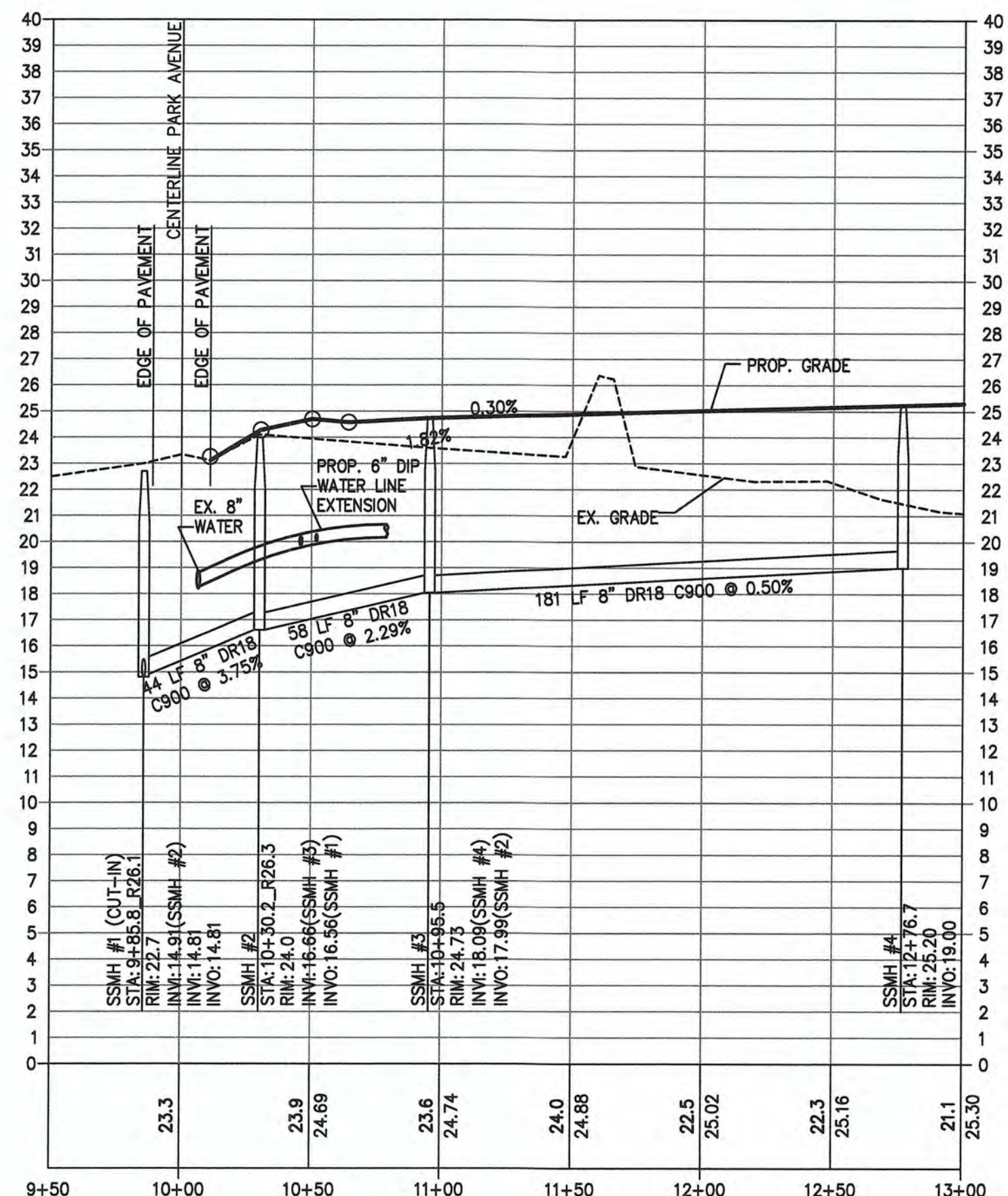


**CFPUA STANDARD NOTES:**

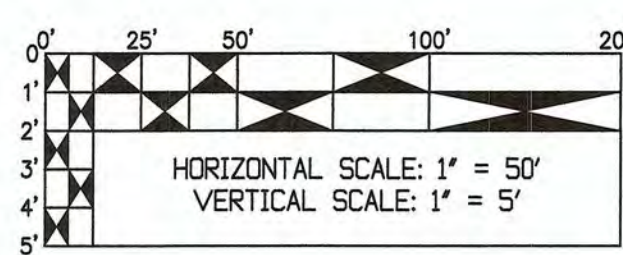
1. ALL PROPOSED ADDITIONS TO THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) WATER DISTRIBUTION AND SANITARY SEWER COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO STATE RULES AND THE CFPUA'S MINIMUM TECHNICAL STANDARDS. IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
2. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
3. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE.
4. ALL SEWER SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
5. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
6. NO FLEXIBLE COUPLINGS SHALL BE USED.
7. ALL STAINLESS STEEL FASTENERS SHALL BE TYPE 316.
8. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
9. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
10. UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
11. A MINIMUM OF 10' OF MAIN LINE SHALL BE REPLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.

**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

The Lofts at Park Ave.  
 Wilmington, NC  
 STA: 9+50 THRU 13+00  
 PLAN AND PROFILE



THE LOSTS AT PARK AVENUE  
 STA: 9+50 THRU 13+00  
 HORIZONTAL: 1" = 50' (ON 24" X 36" PLAN SHEET)  
 VERTICAL: 1" = 5' (ON 24" X 36" PLAN SHEET)



For each open utility cut of city streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ISSUED FOR AGENCY REVIEW ONLY  
 NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

REV	DATE	DESCRIPTION	INIT

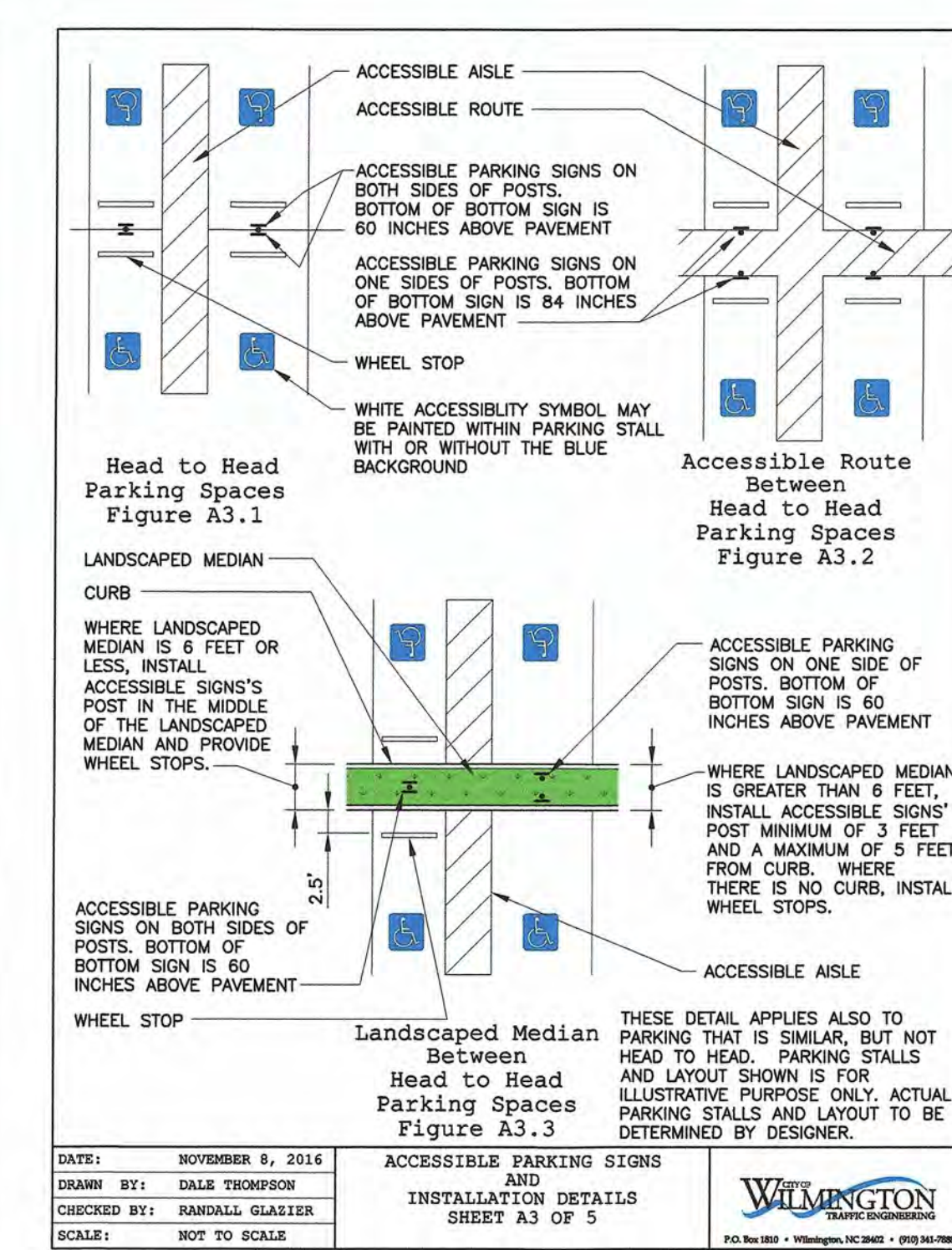
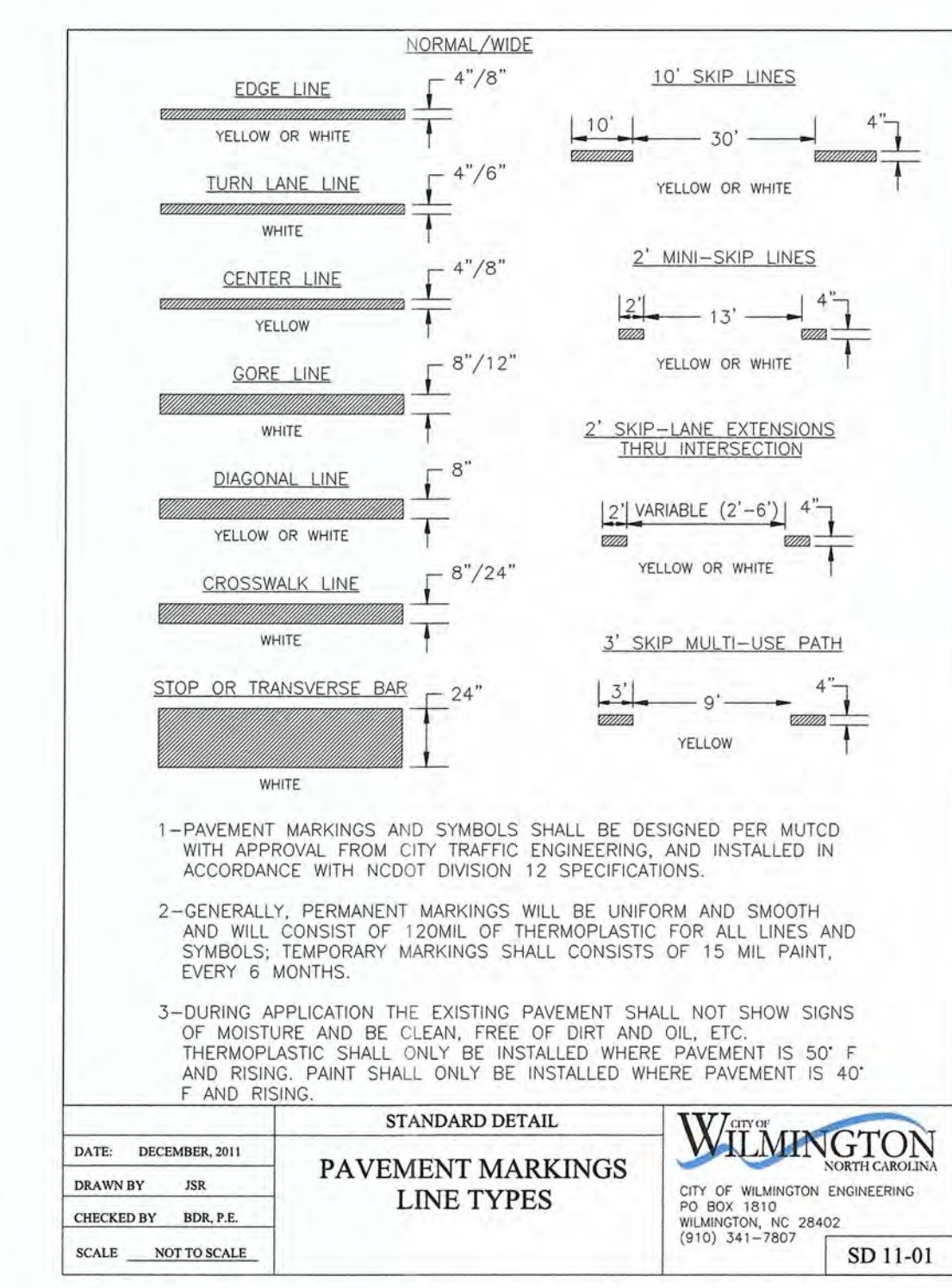
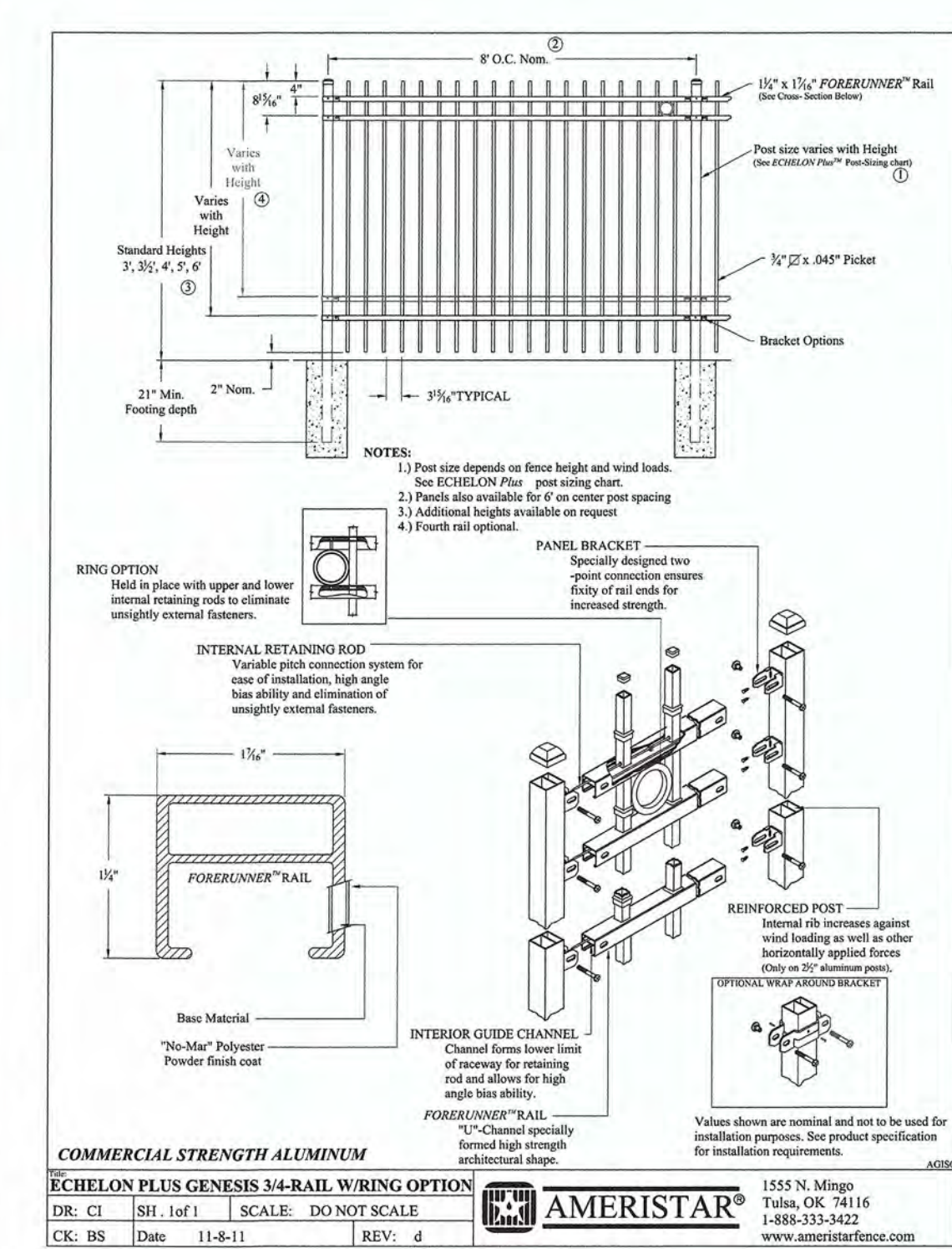
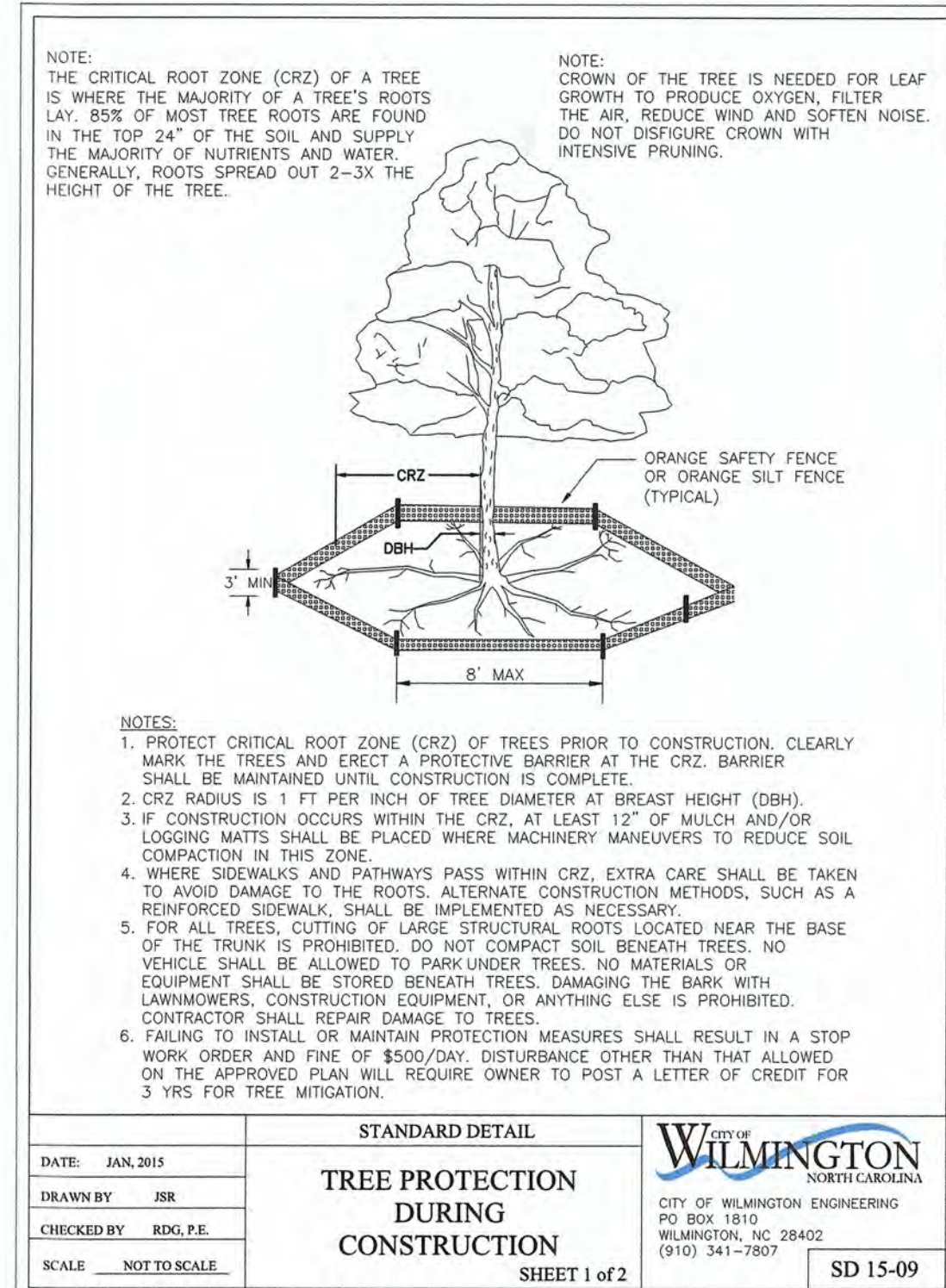
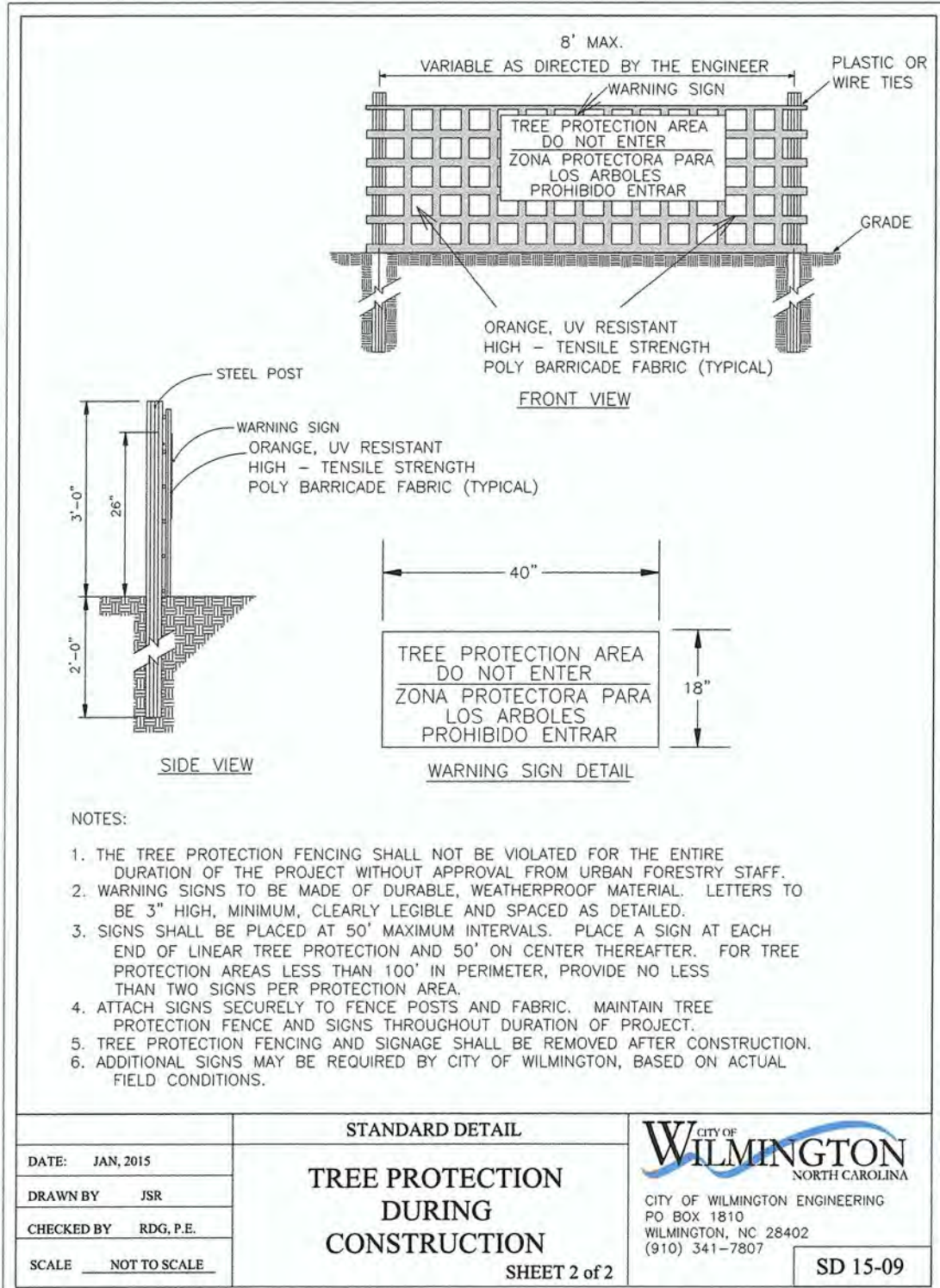
TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

Seal Redaction

CHECKED: FB SCALE: 1"=50'  
 DESIGNED: NA RELEASE: AIN

SHEET  
**CP-1**





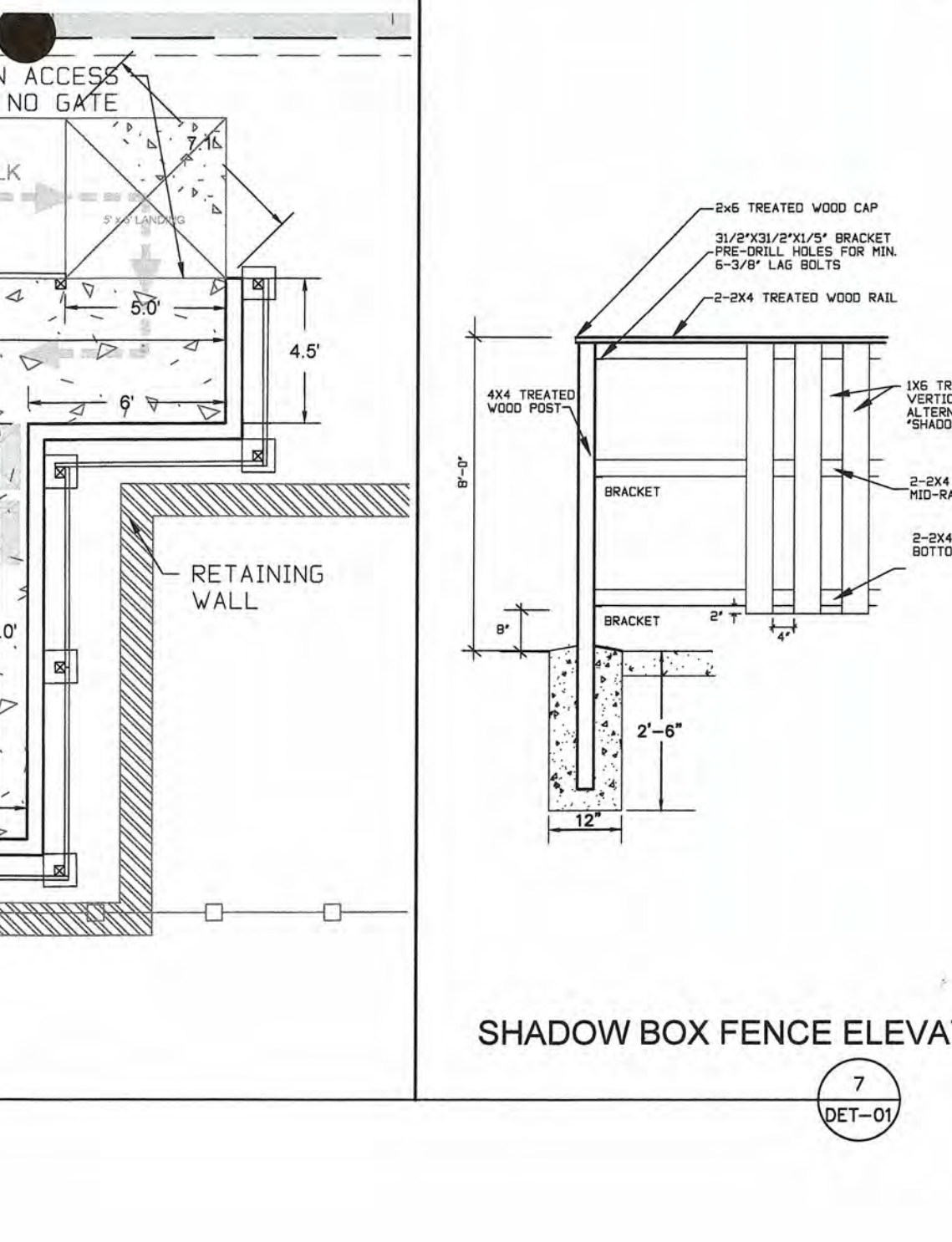
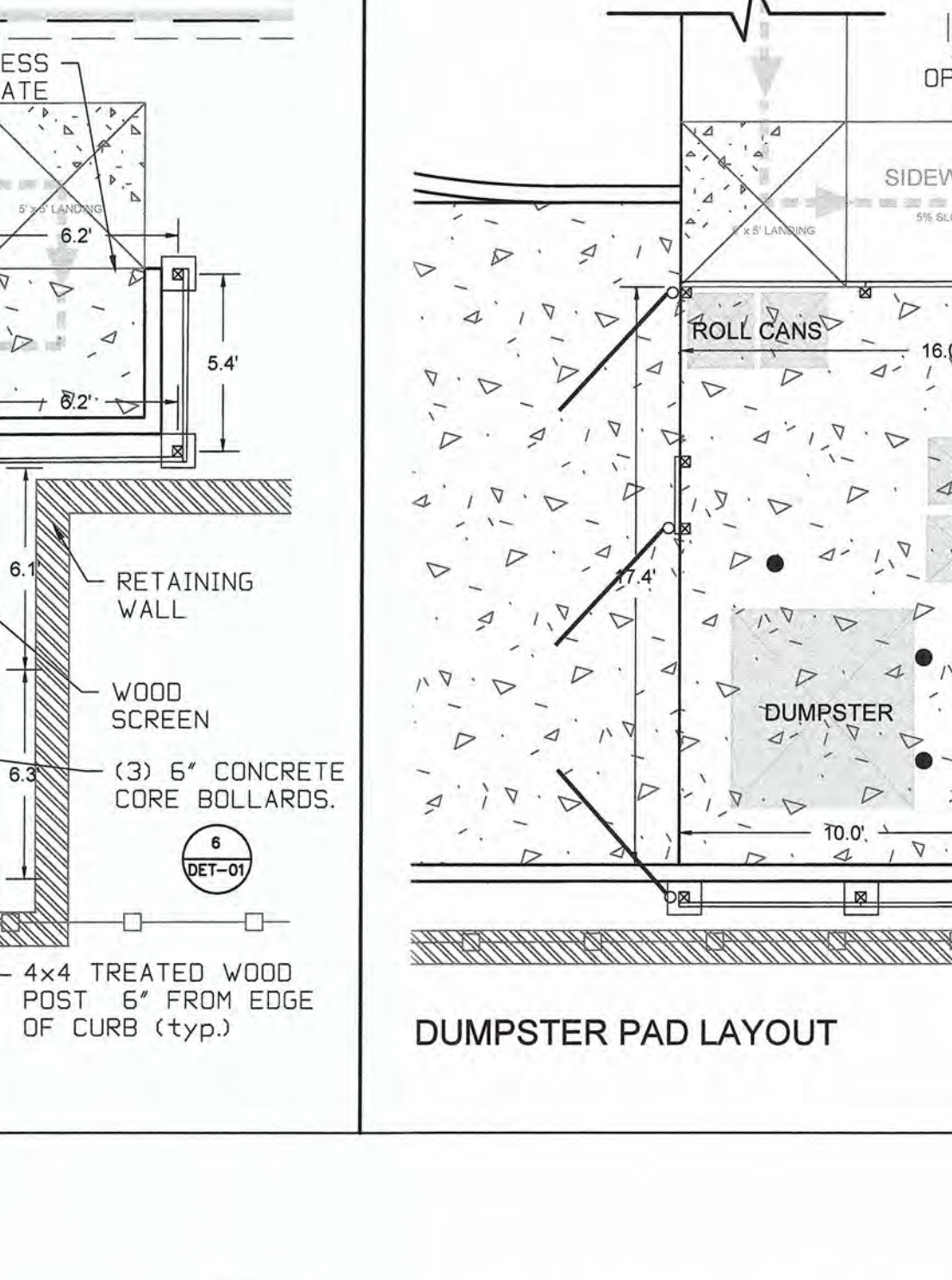
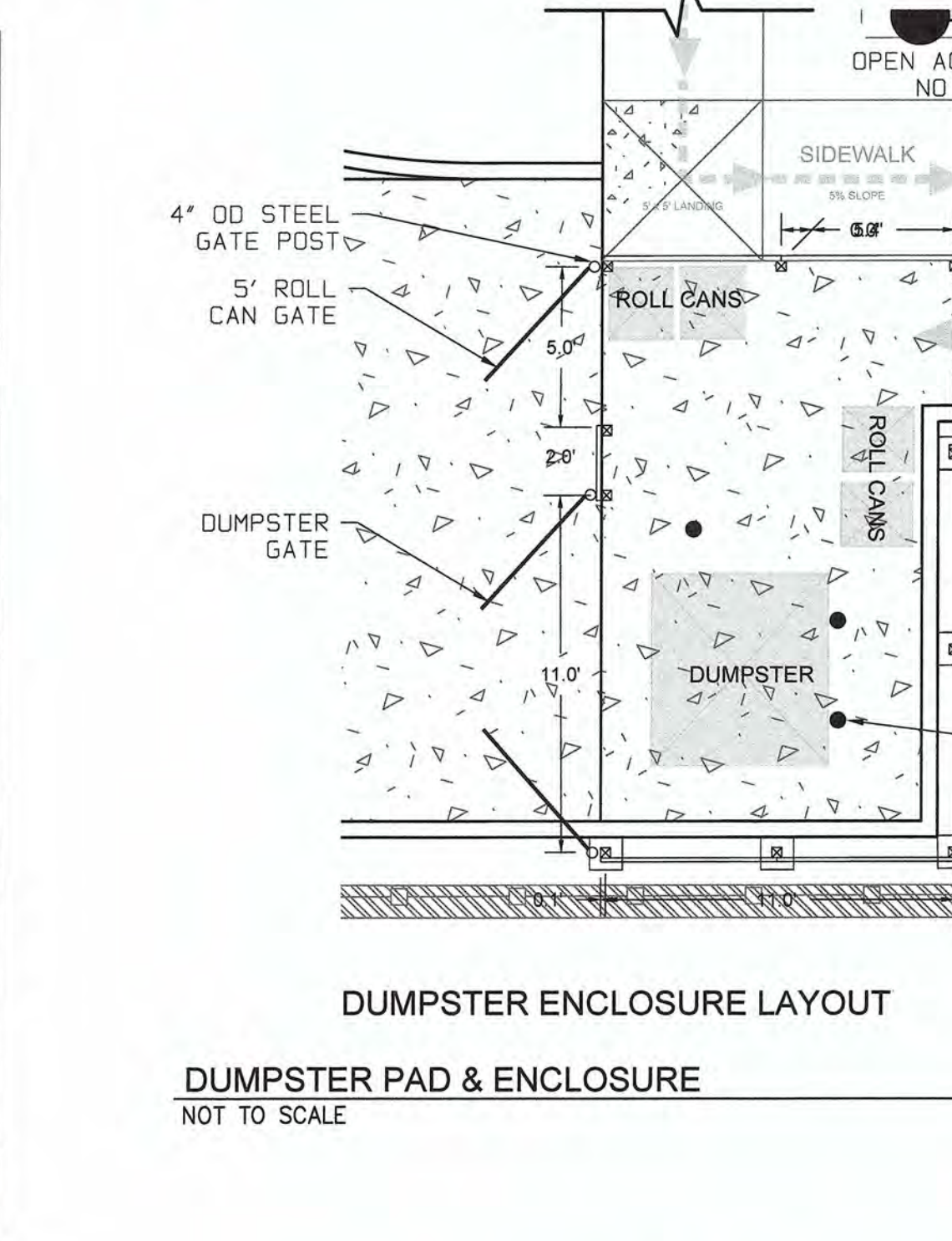
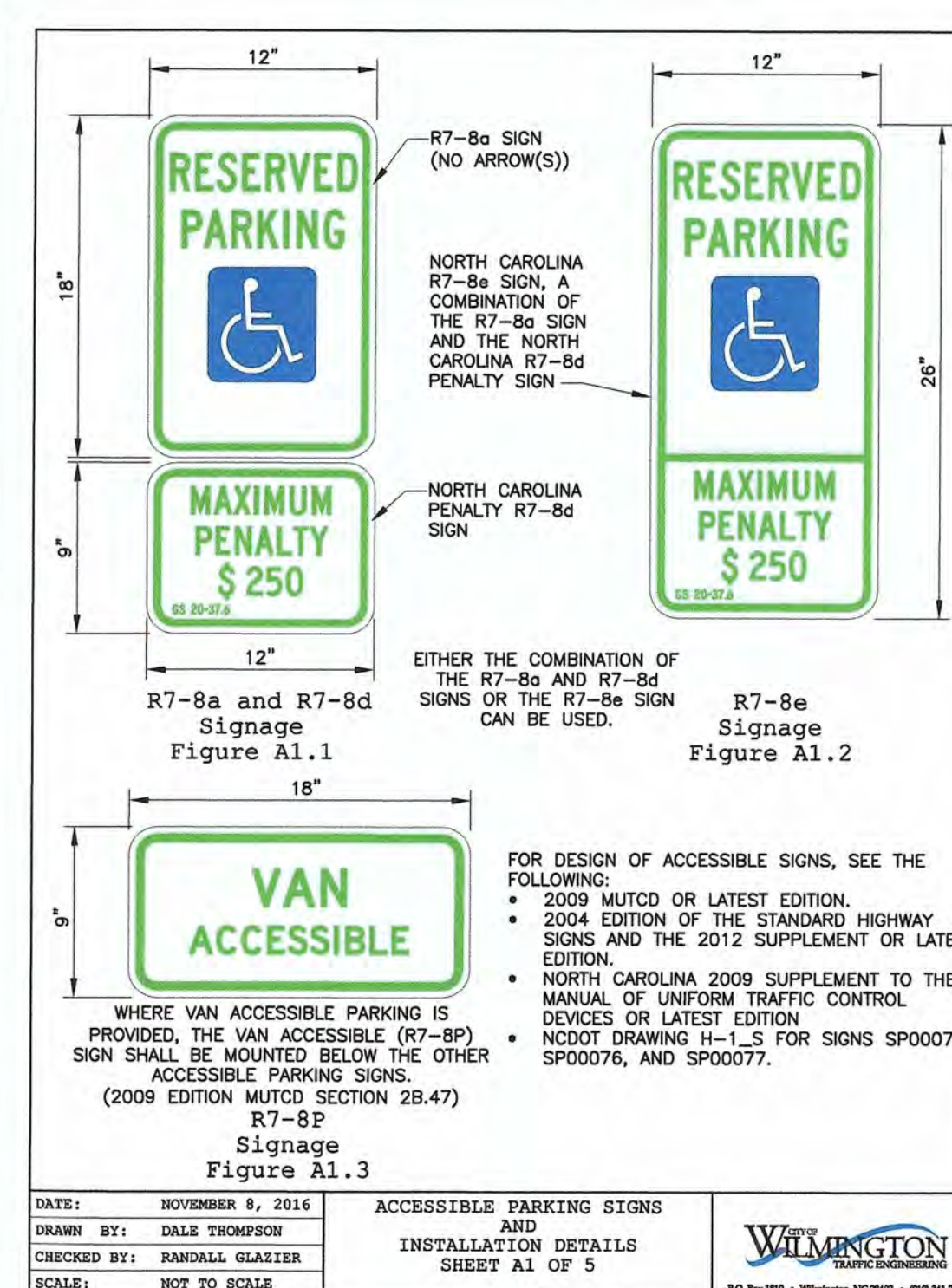
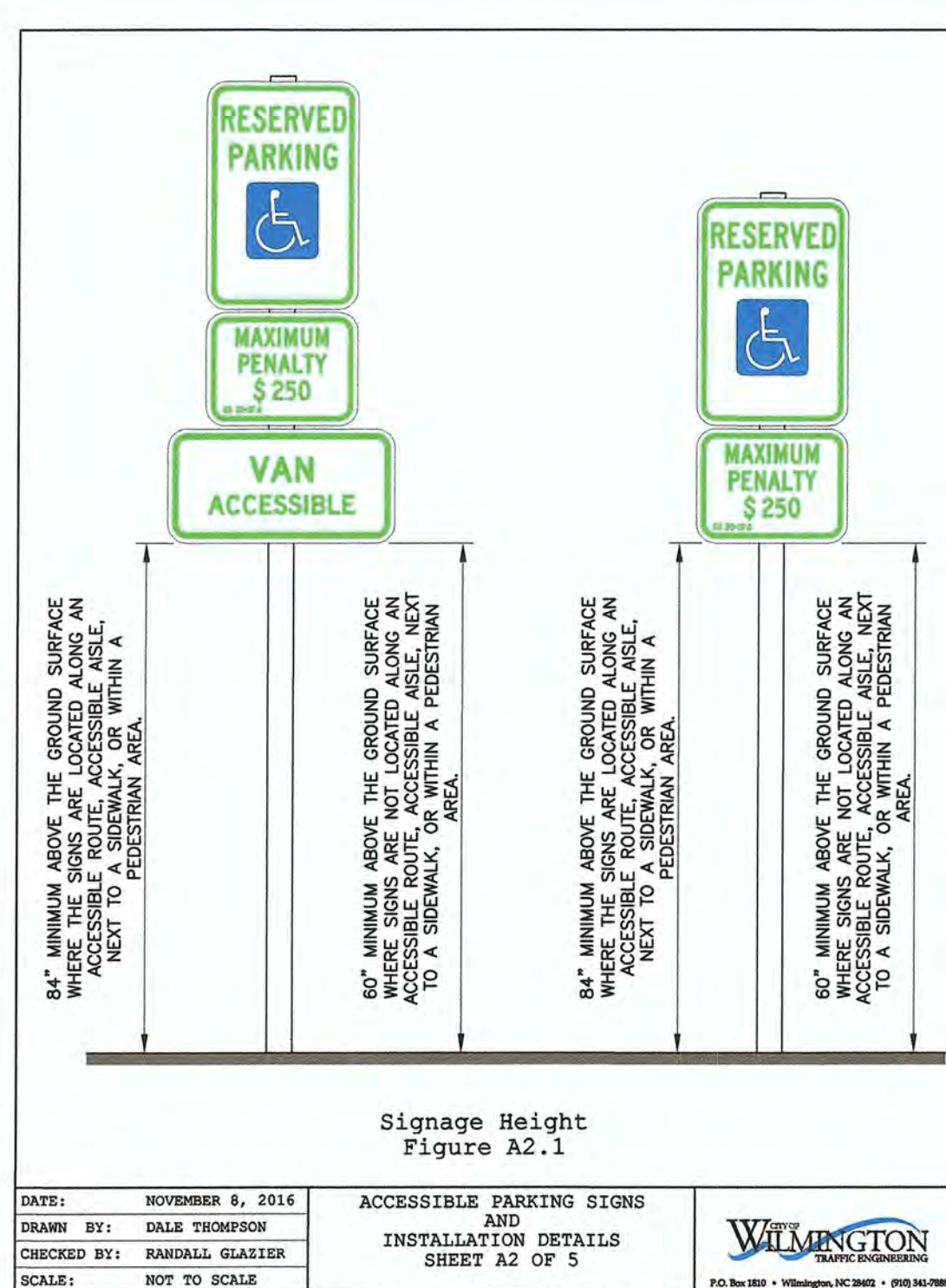
**SILT FENCE**  
NOT TO SCALE

**TREE PROTECTION FENCING**  
NOT TO SCALE

**METAL PICKET SECURITY FENCE**  
NOT TO SCALE

**PAVEMENT MARKING LINES**  
NOT TO SCALE

**CITY OF WILMINGTON ADA PARKING SIGNS**  
NOT TO SCALE



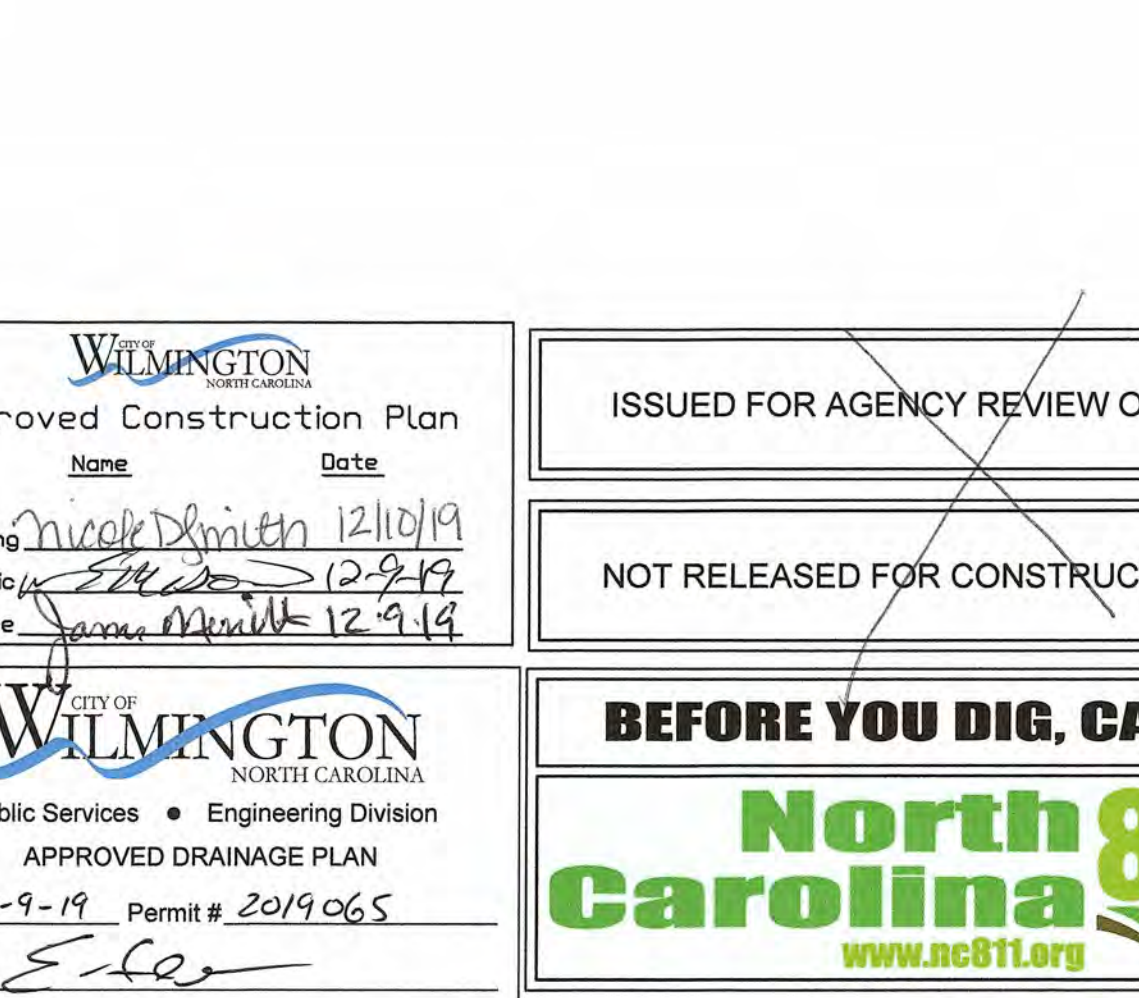
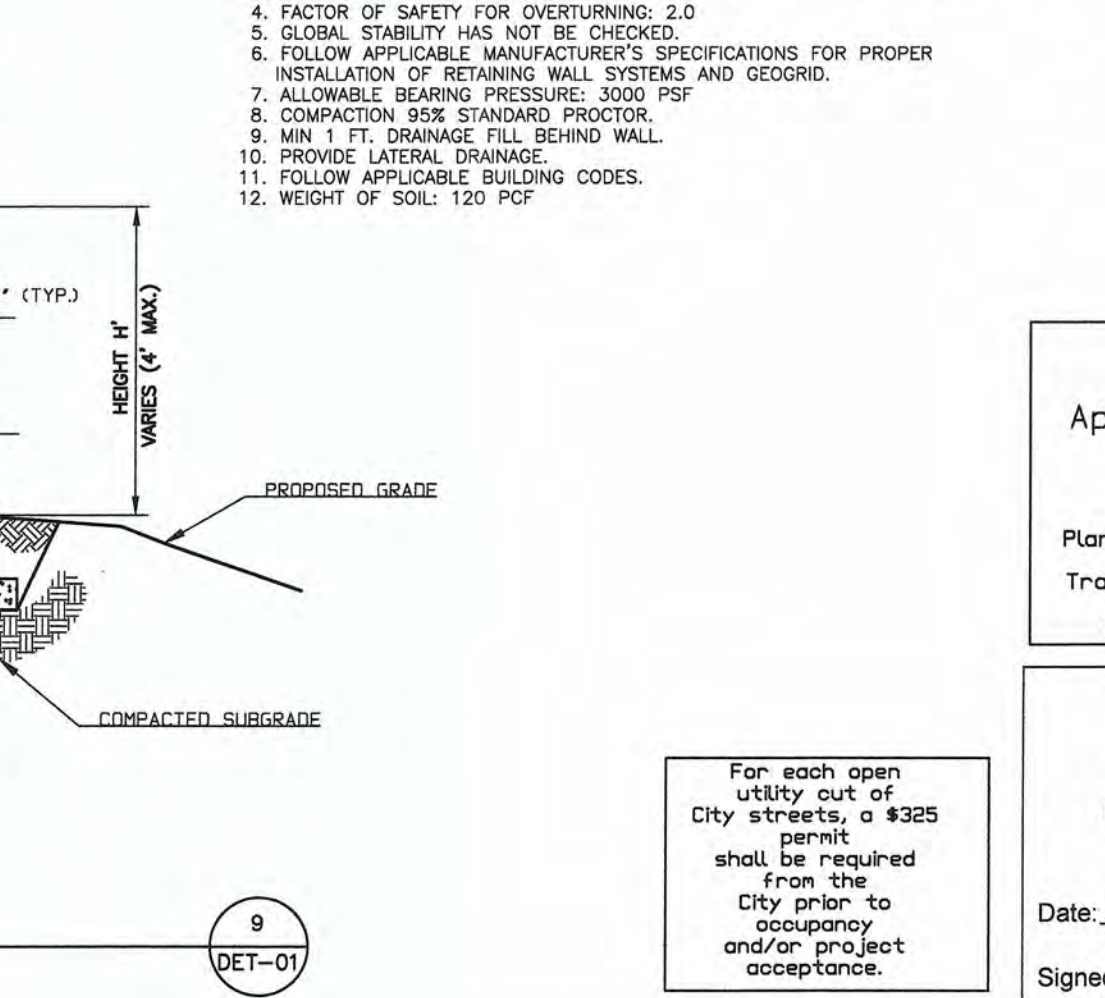
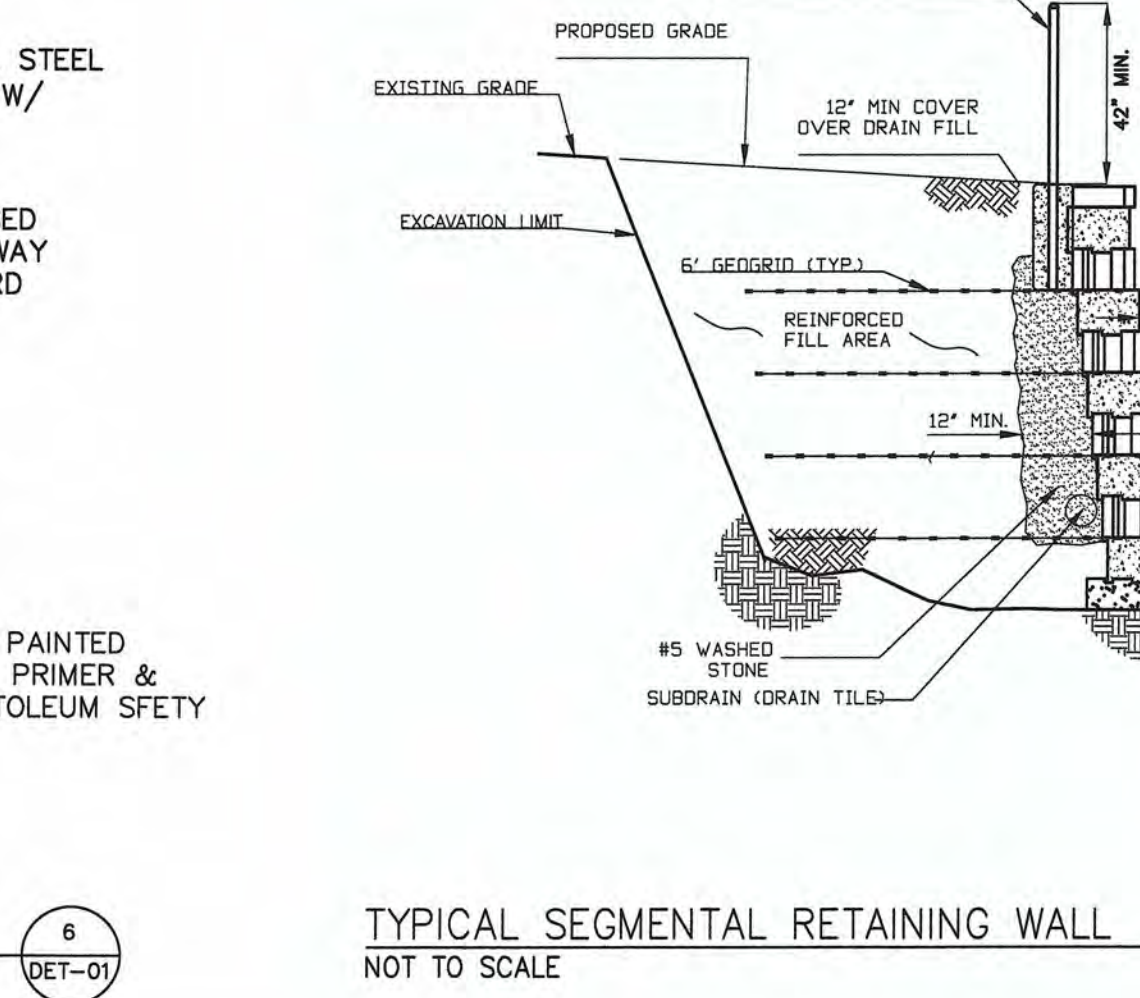
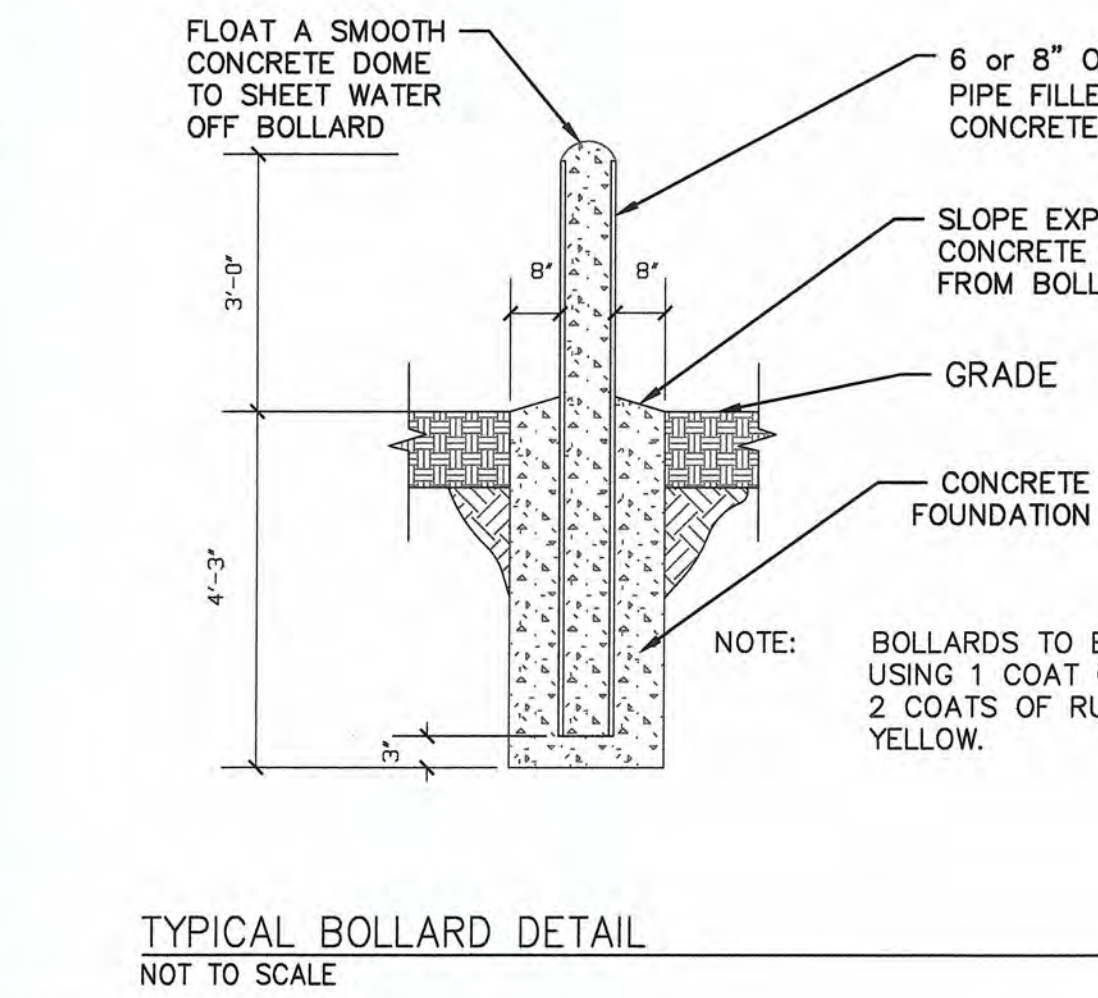
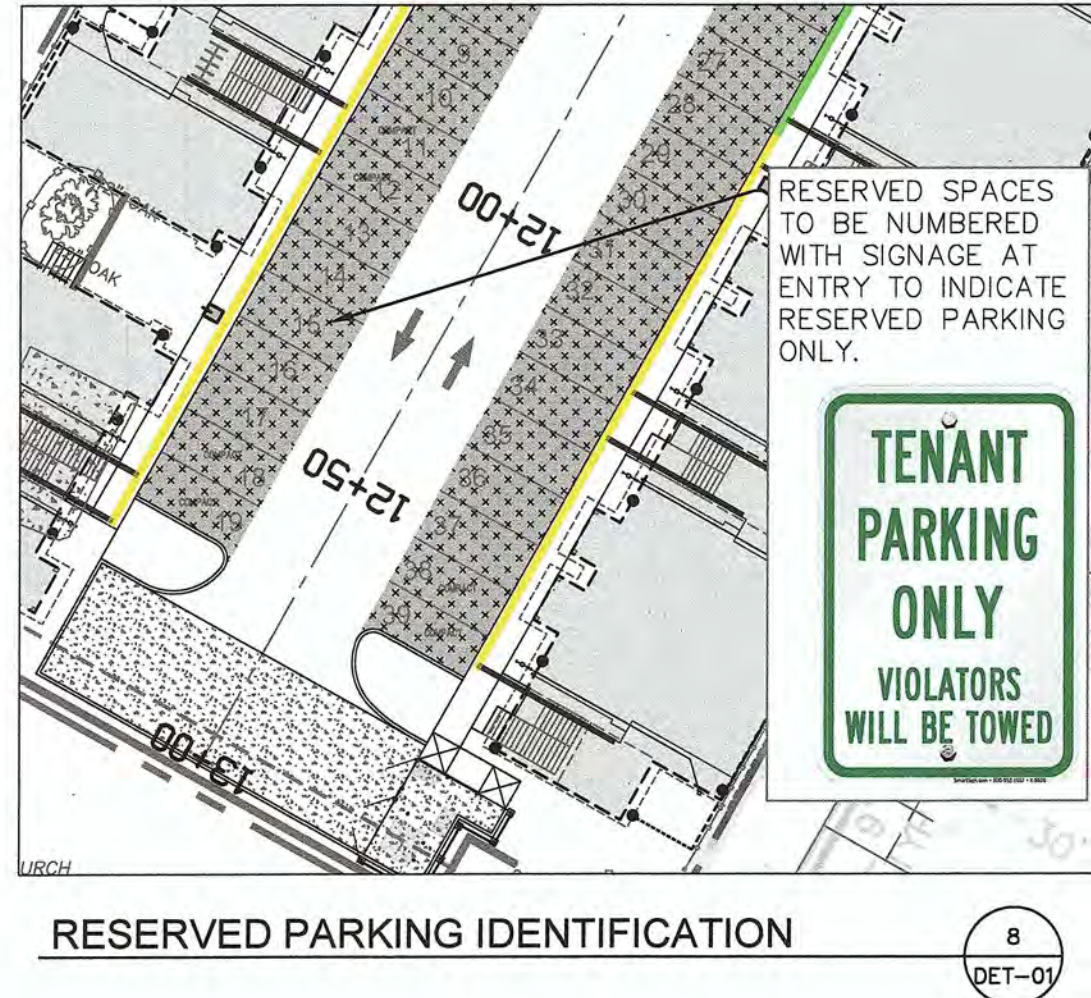
**CITY OF WILMINGTON ADA PARKING SIGNS**  
NOT TO SCALE

**TYPICAL BOLLARD DETAIL**  
NOT TO SCALE

**TYPICAL SEGMENTAL RETAINING WALL**  
NOT TO SCALE

**RESERVED PARKING IDENTIFICATION**  
NOT TO SCALE

**TENANT PARKING ONLY**  
VIOLATORS WILL BE TOWED



**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0532  
www.cldeng.com

**The Lofts at Park Ave.**  
Wilmington, NC

**SITE DETAILS**

REV	DATE	DESCRIPTION	INIT
B	12/4/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

TC Ivey Properties, LLC  
1308 Bayside Circle  
Wilmington, NC 28405

**NORTH CAROLINA PROFESSIONAL SEAL**  
028858  
12/4/2019

APPROVED: JP	PROJECT: 135-04
CHECKED: FB	SCALE: AS SHOWN
DESIGNED: NA	RELEASE: AIN

**SHEET**  
**DET-01**

**WILMINGTON**  
APPROVED CONSTRUCTION PLAN

Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_ 12/10/19  
Traffic: \_\_\_\_\_ 12-2-19  
File: \_\_\_\_\_ 12-9-19

**WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

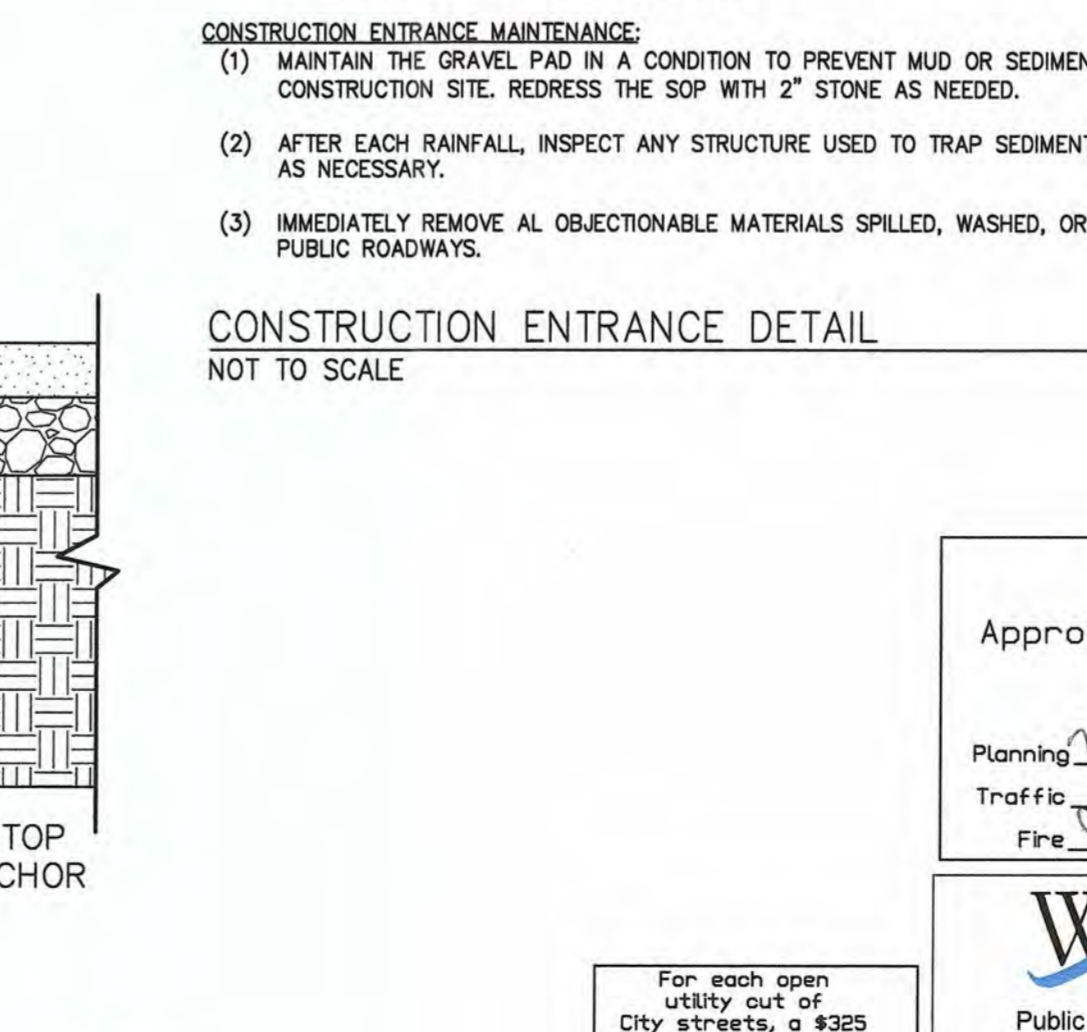
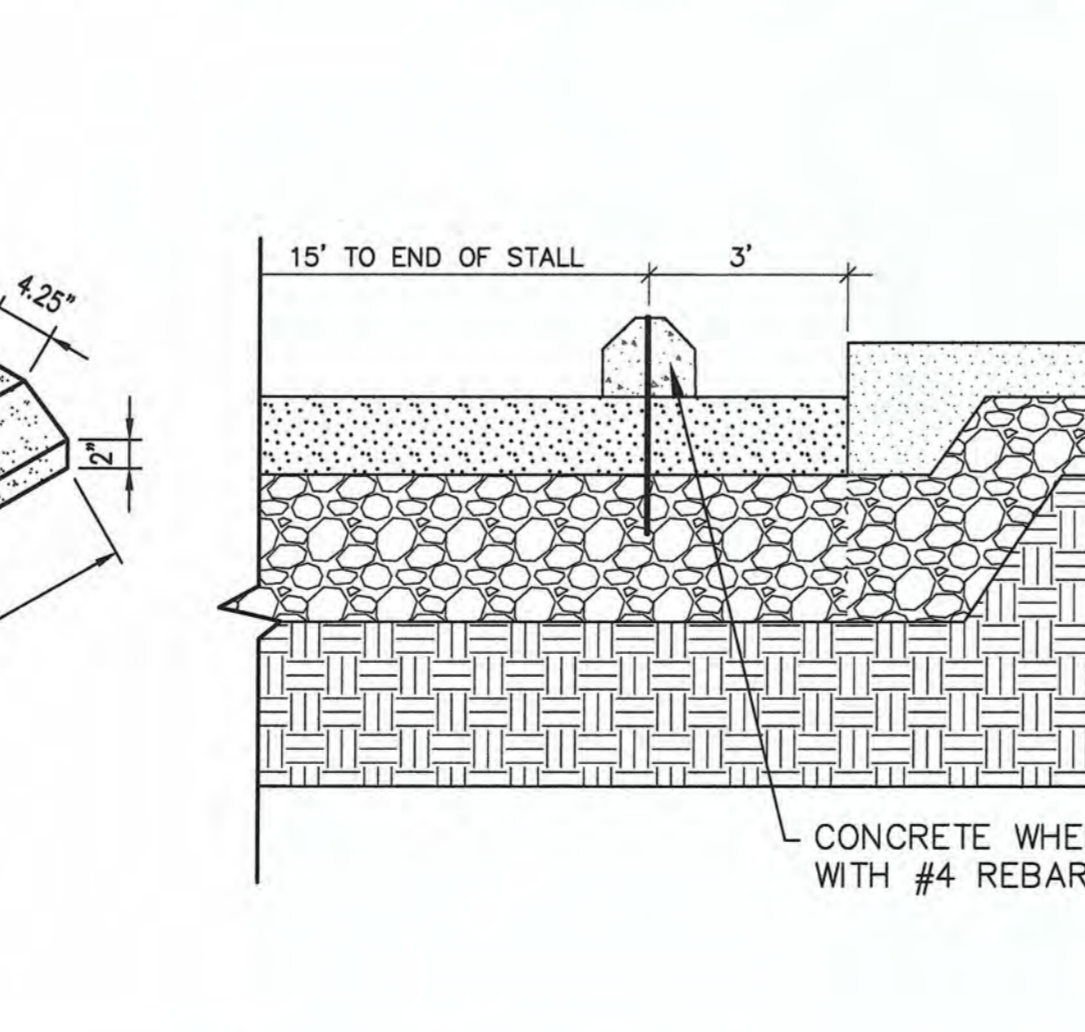
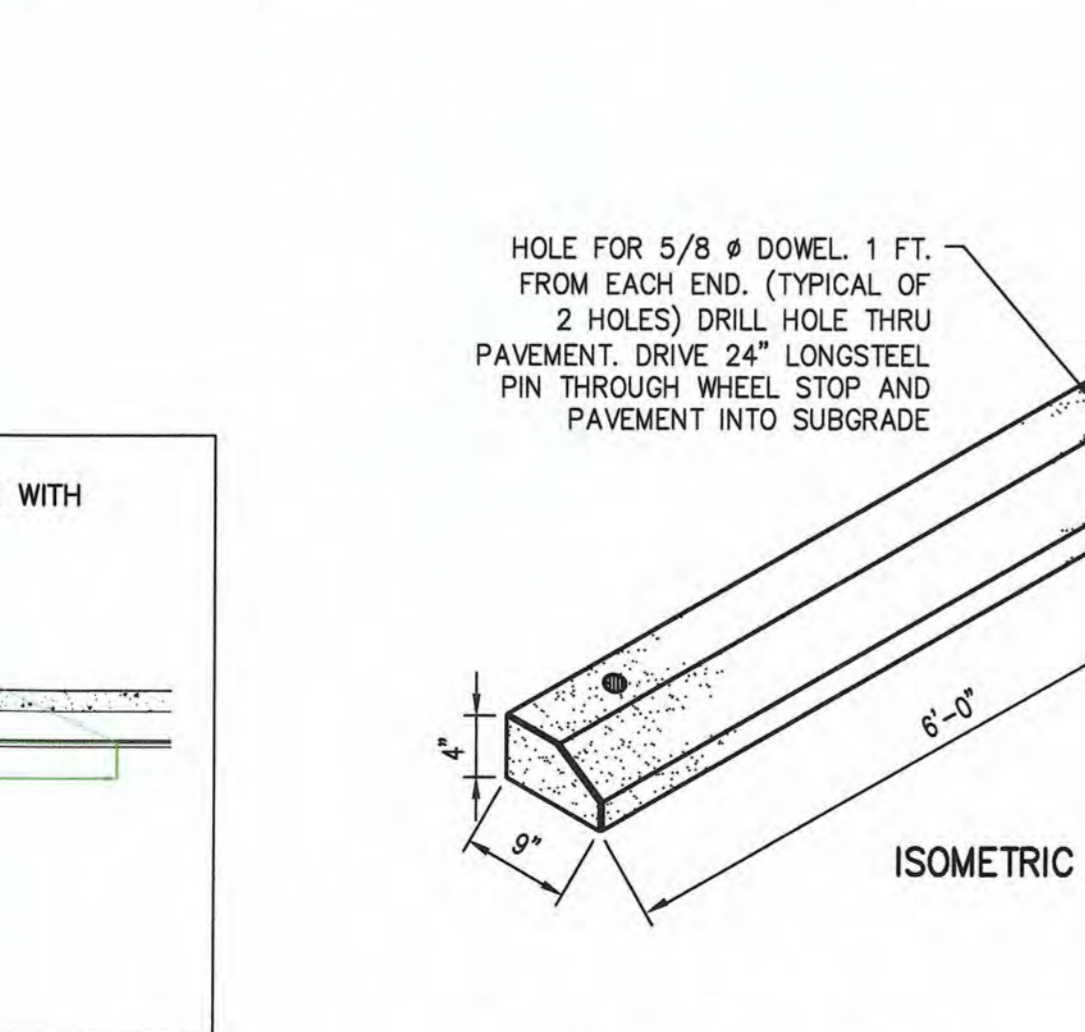
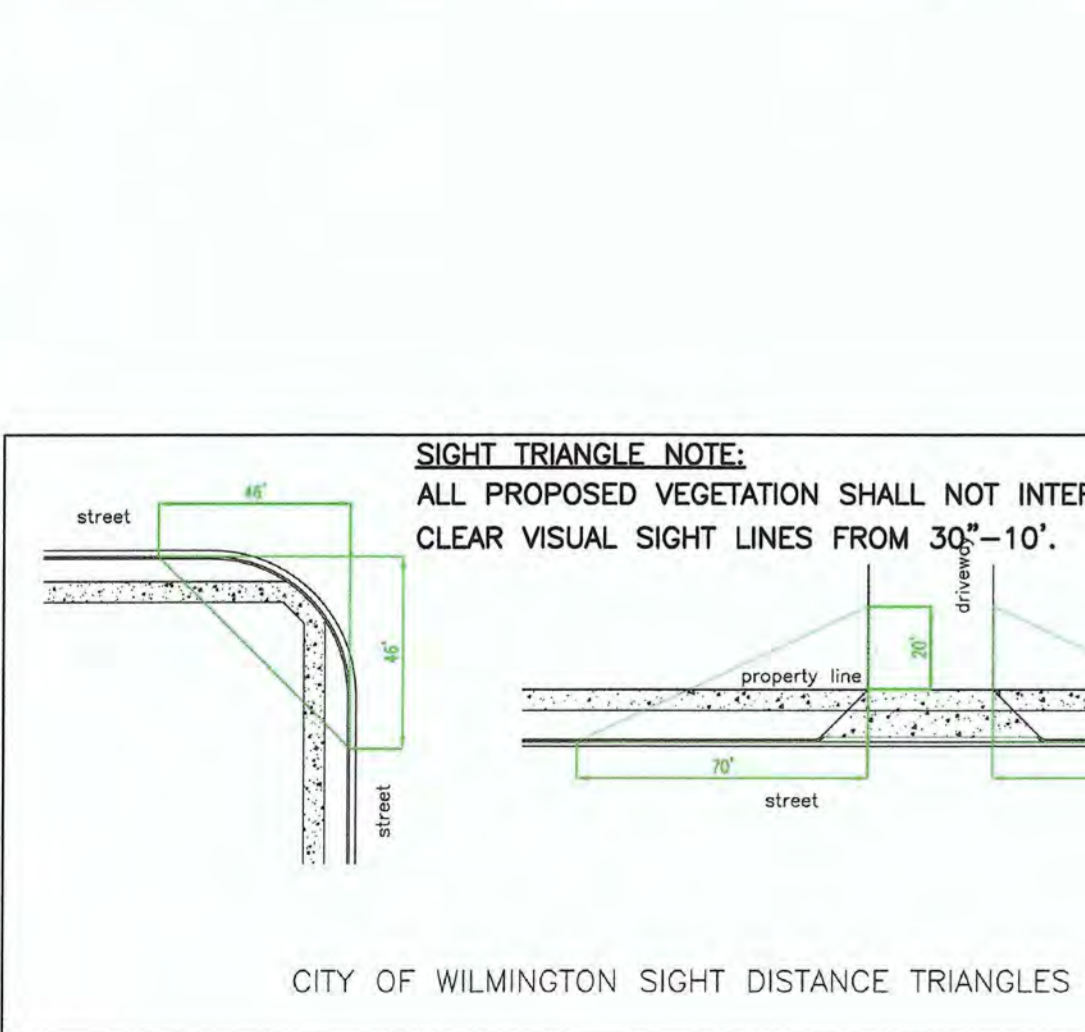
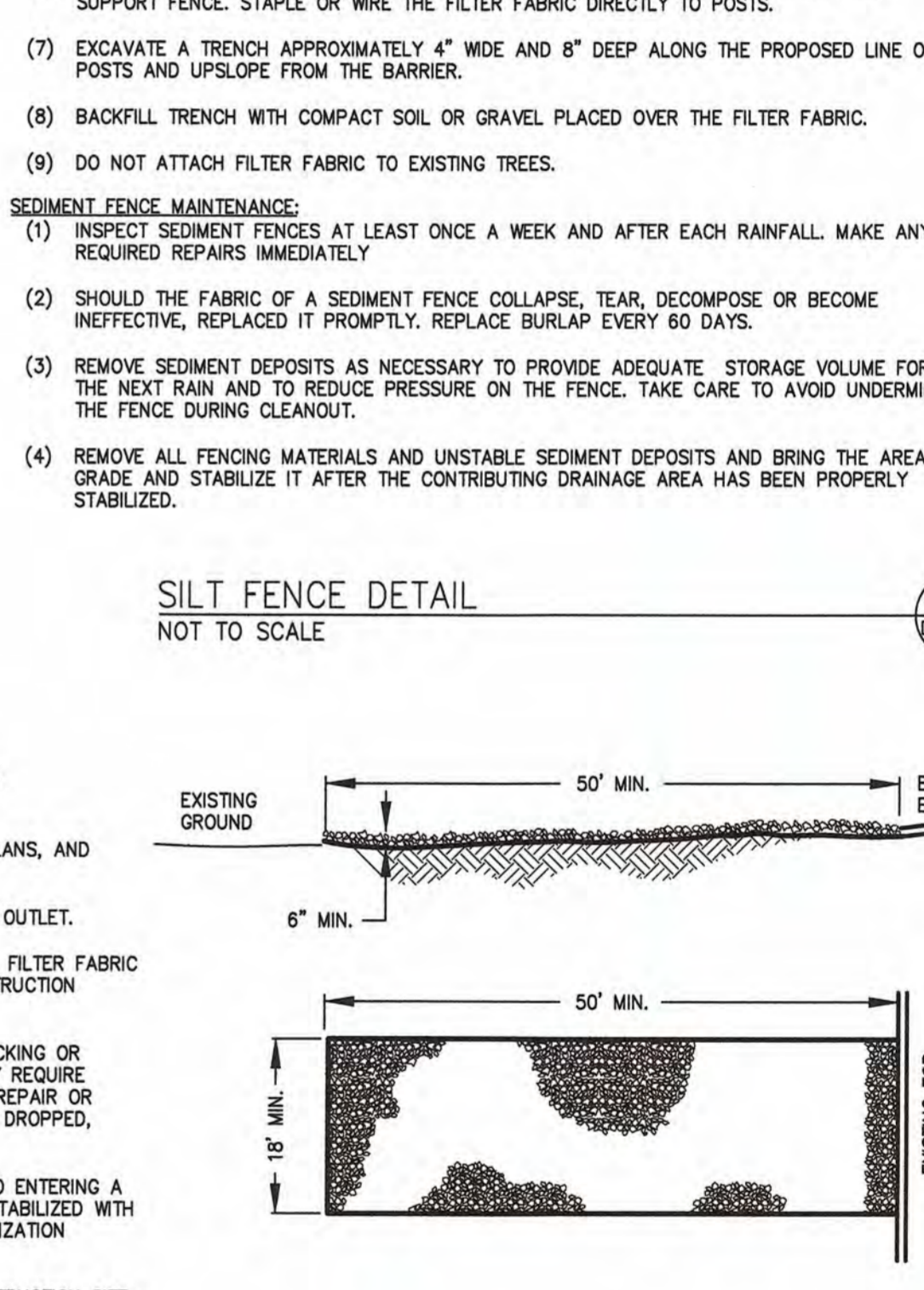
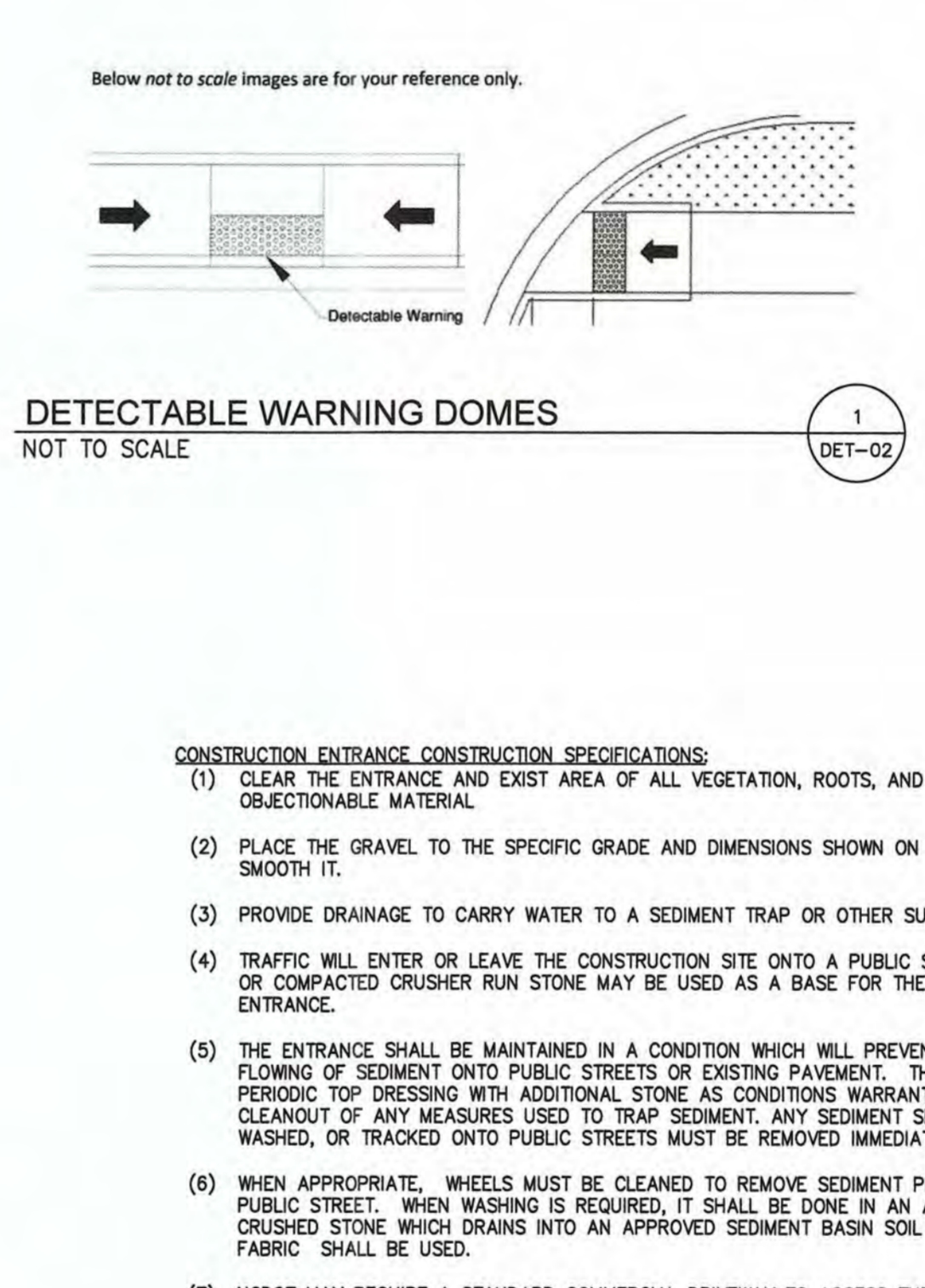
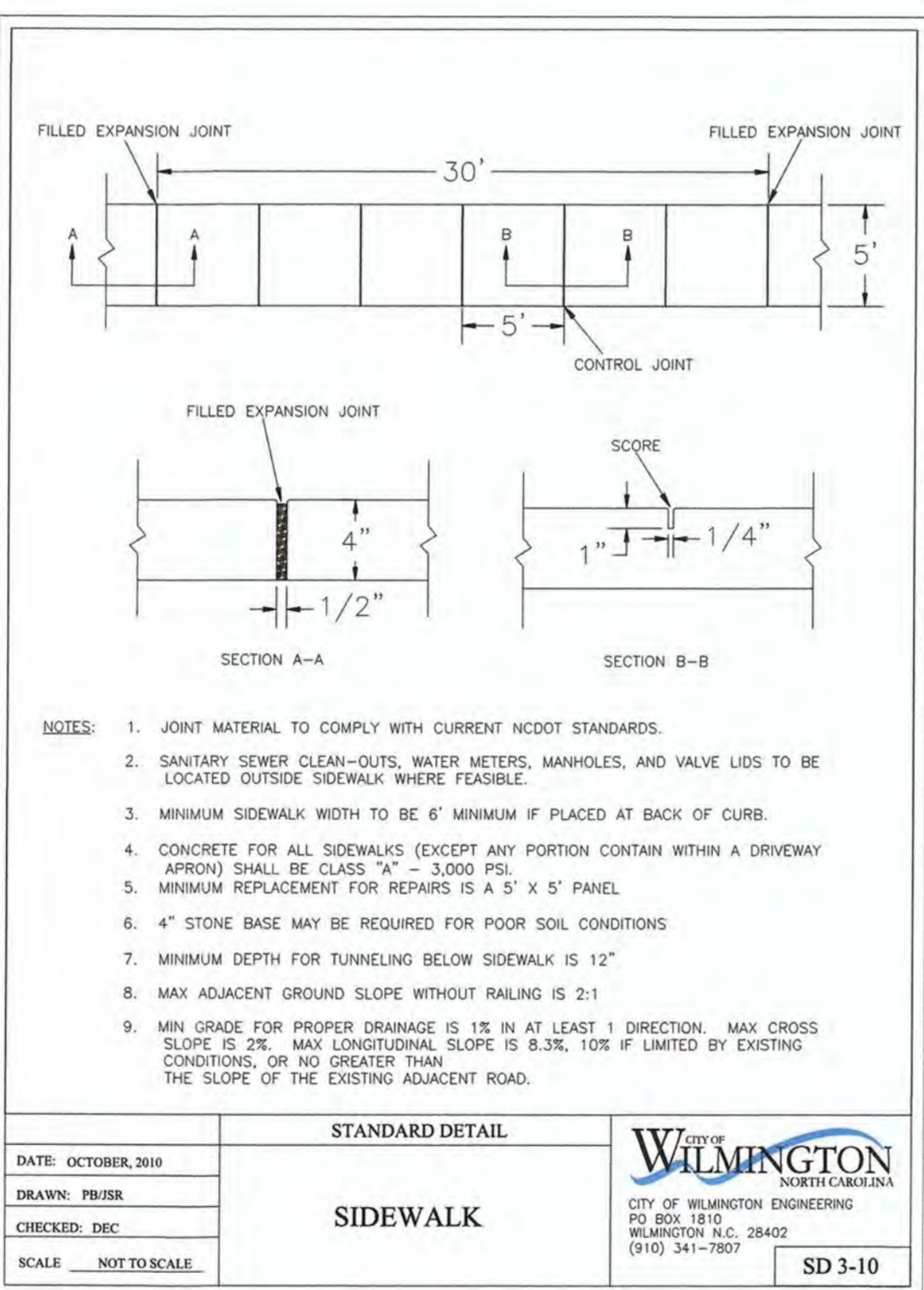
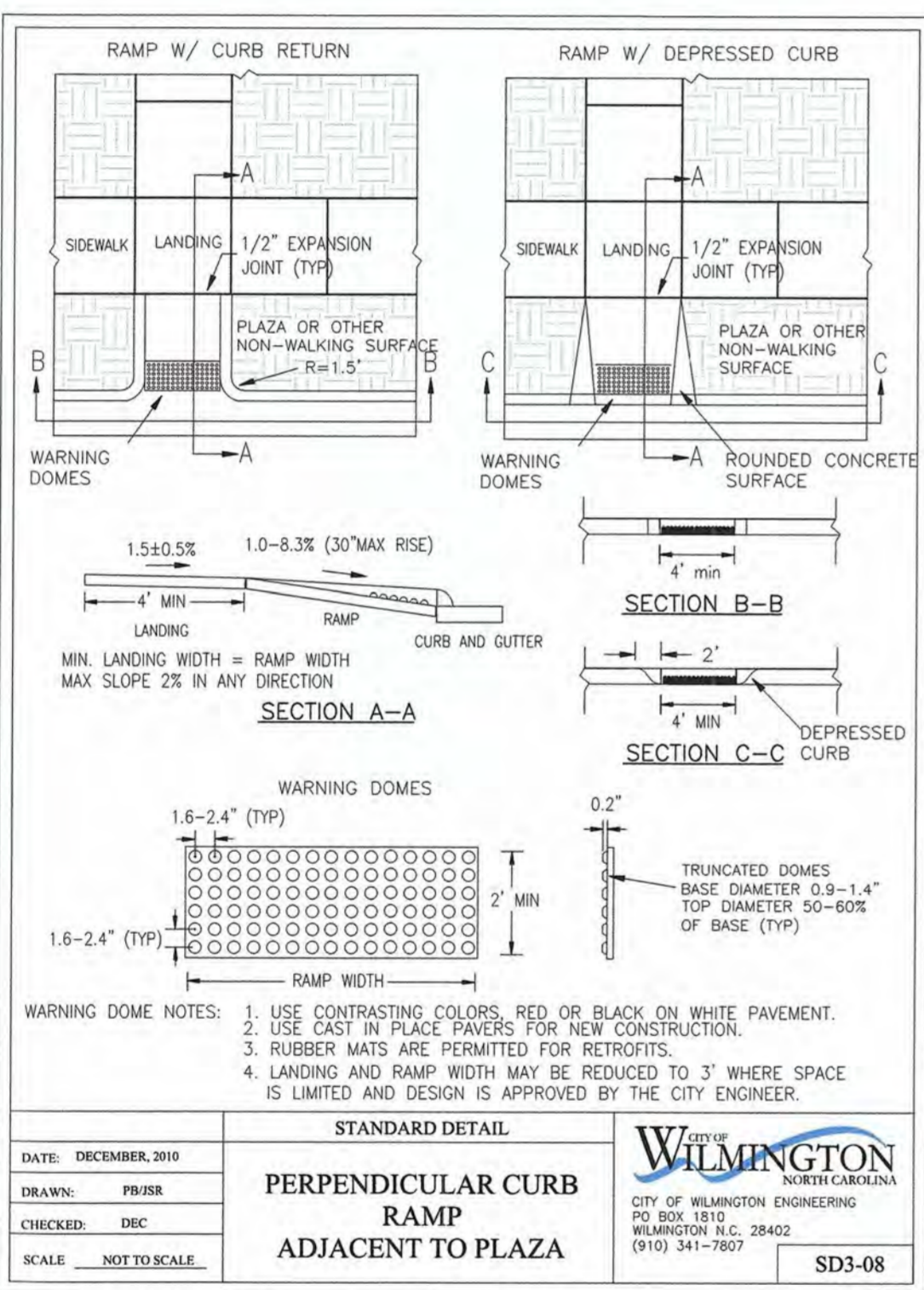
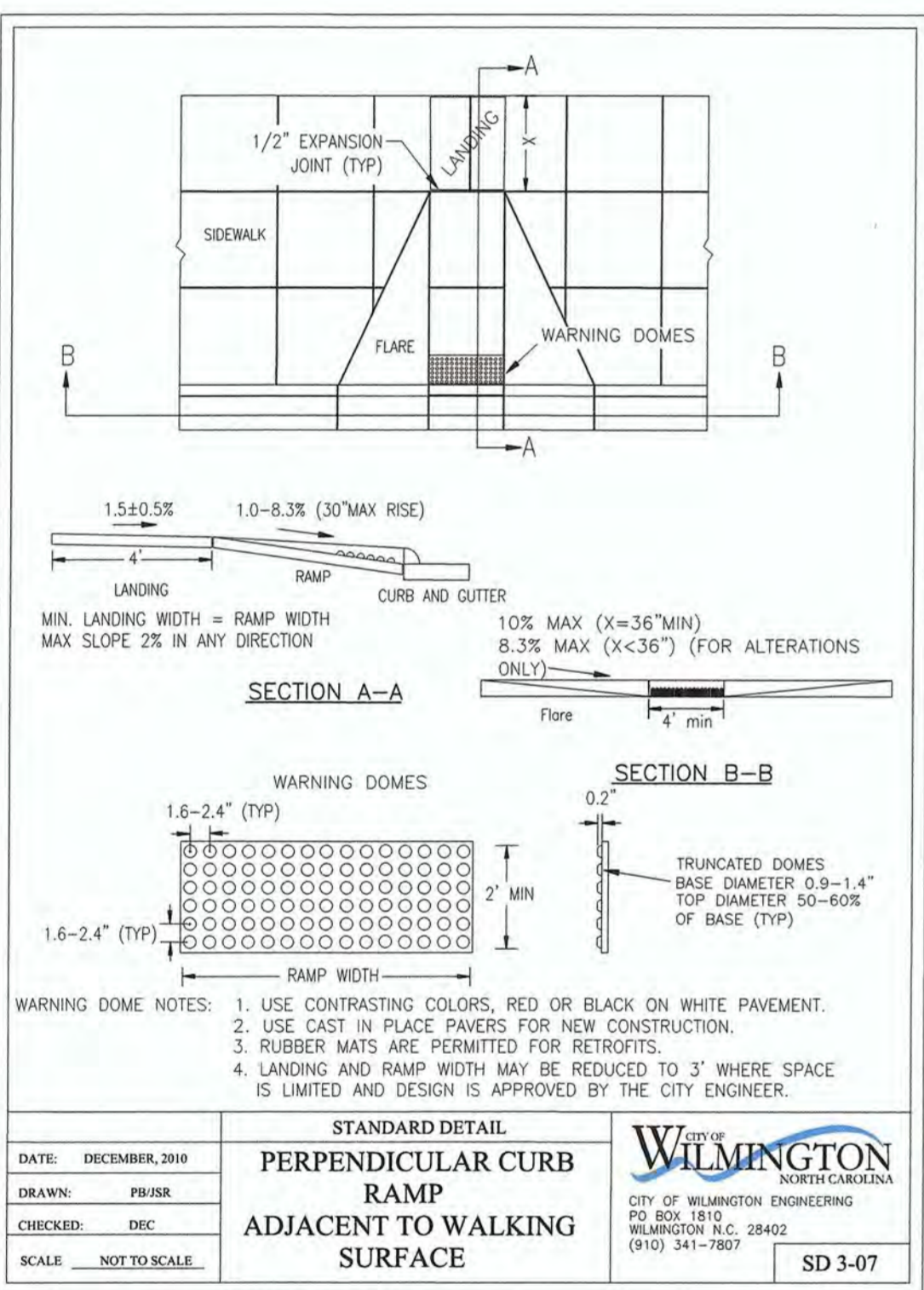
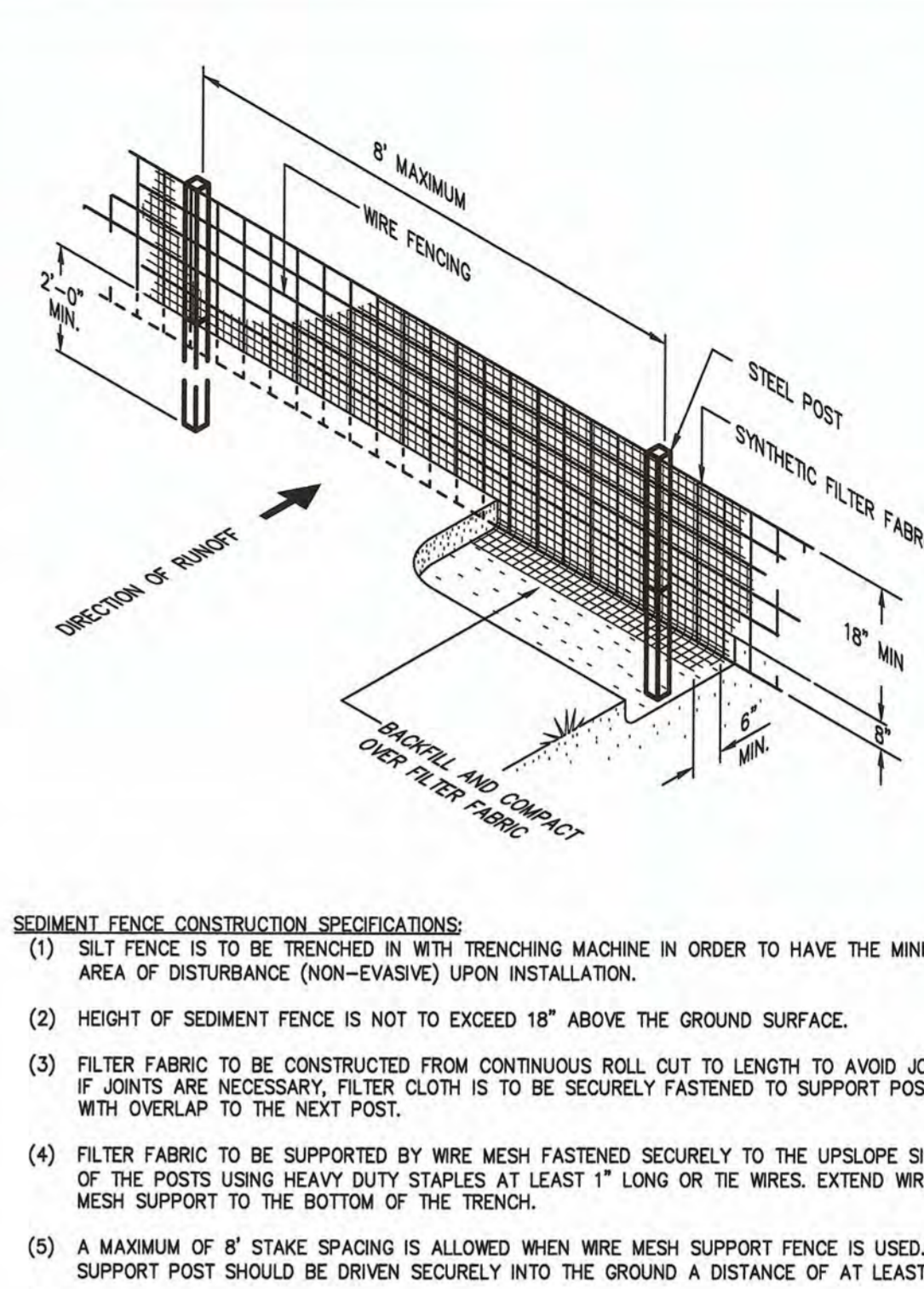
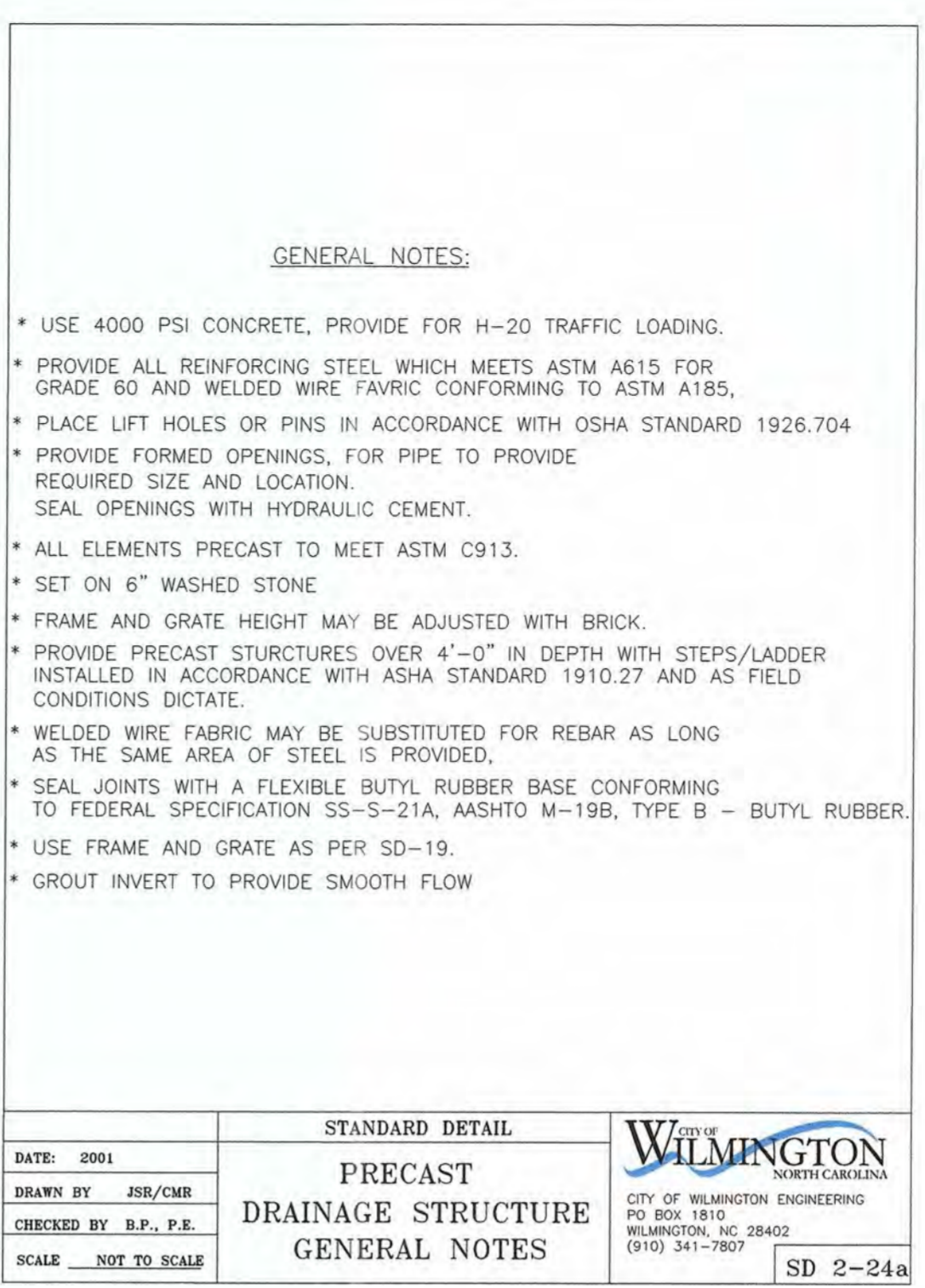
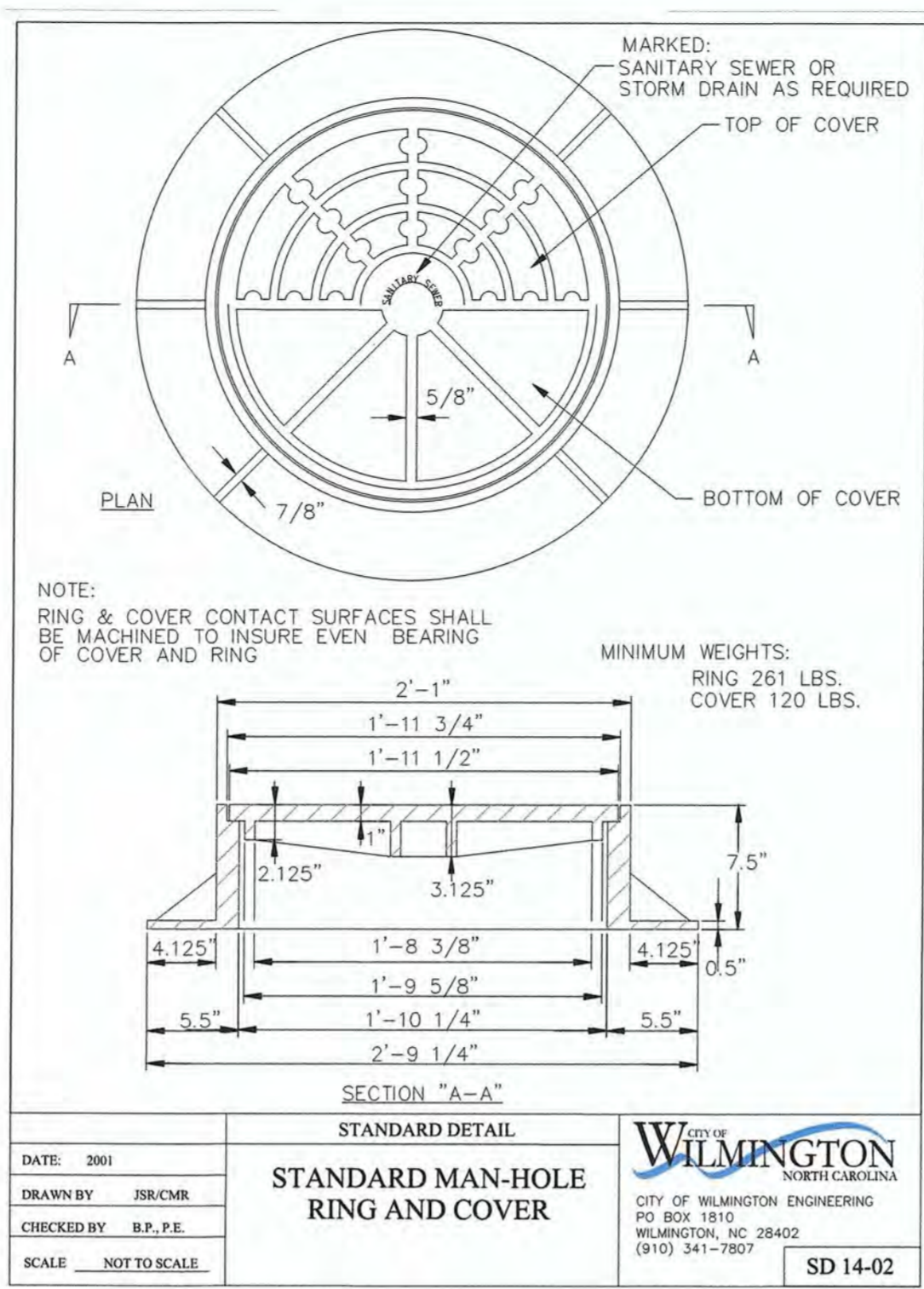
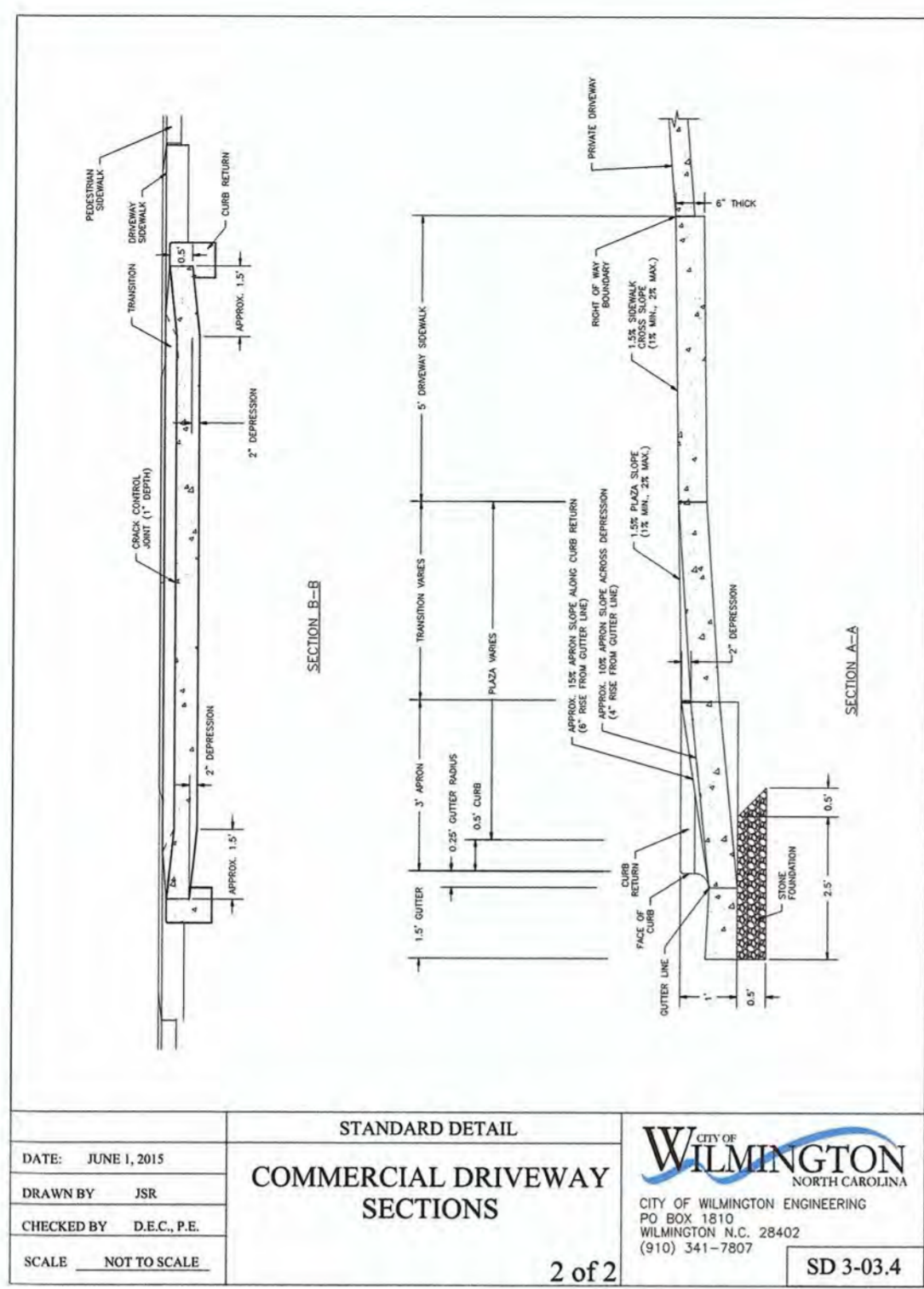
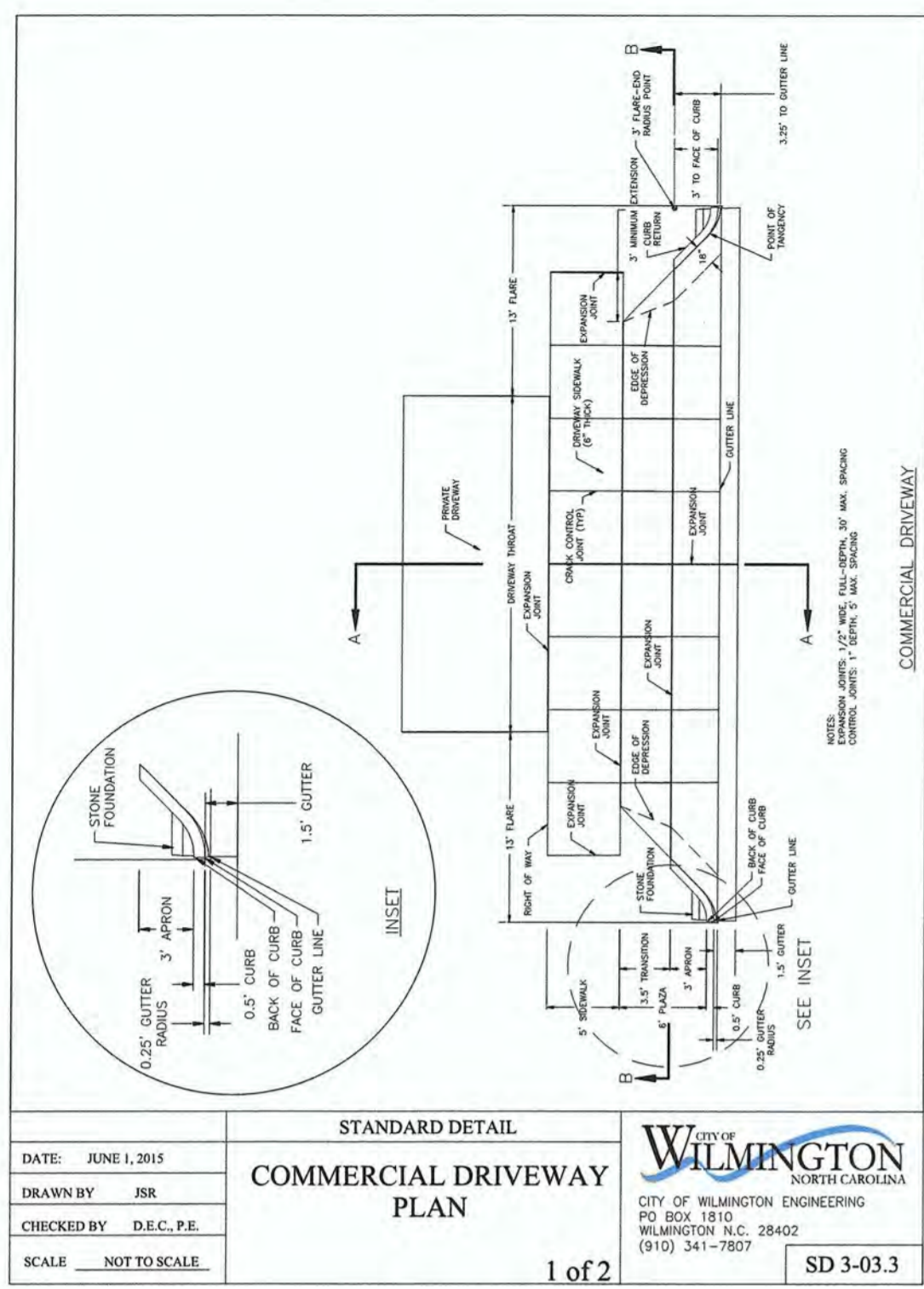
Date: 12-9-19 Permit # 2019-065  
Signed: \_\_\_\_\_

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
www.nc811.org

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**WILMINGTON**  
 Approved Construction Plan  
 Name: Nicole Drinith  
 Date: 12/10/19  
 Planning Traffic: 12-9-19  
 Fire: 12-9-19  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: S. See

ISSUED FOR AGENCY REVIEW ONLY  
 NOT RELEASED FOR CONSTRUCTION  
**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

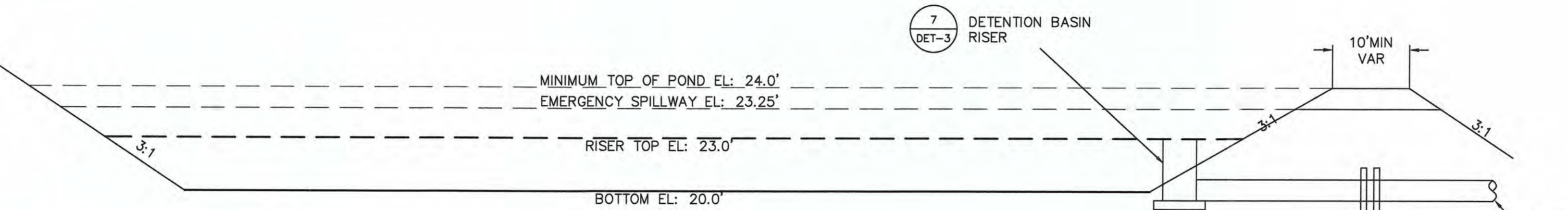
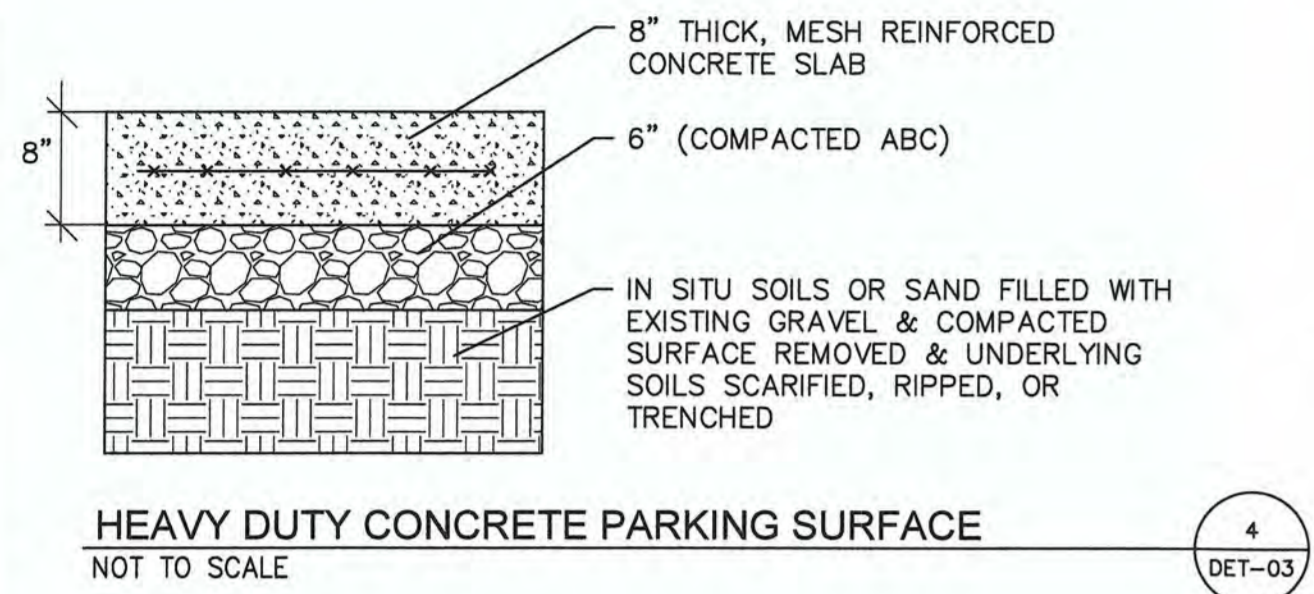
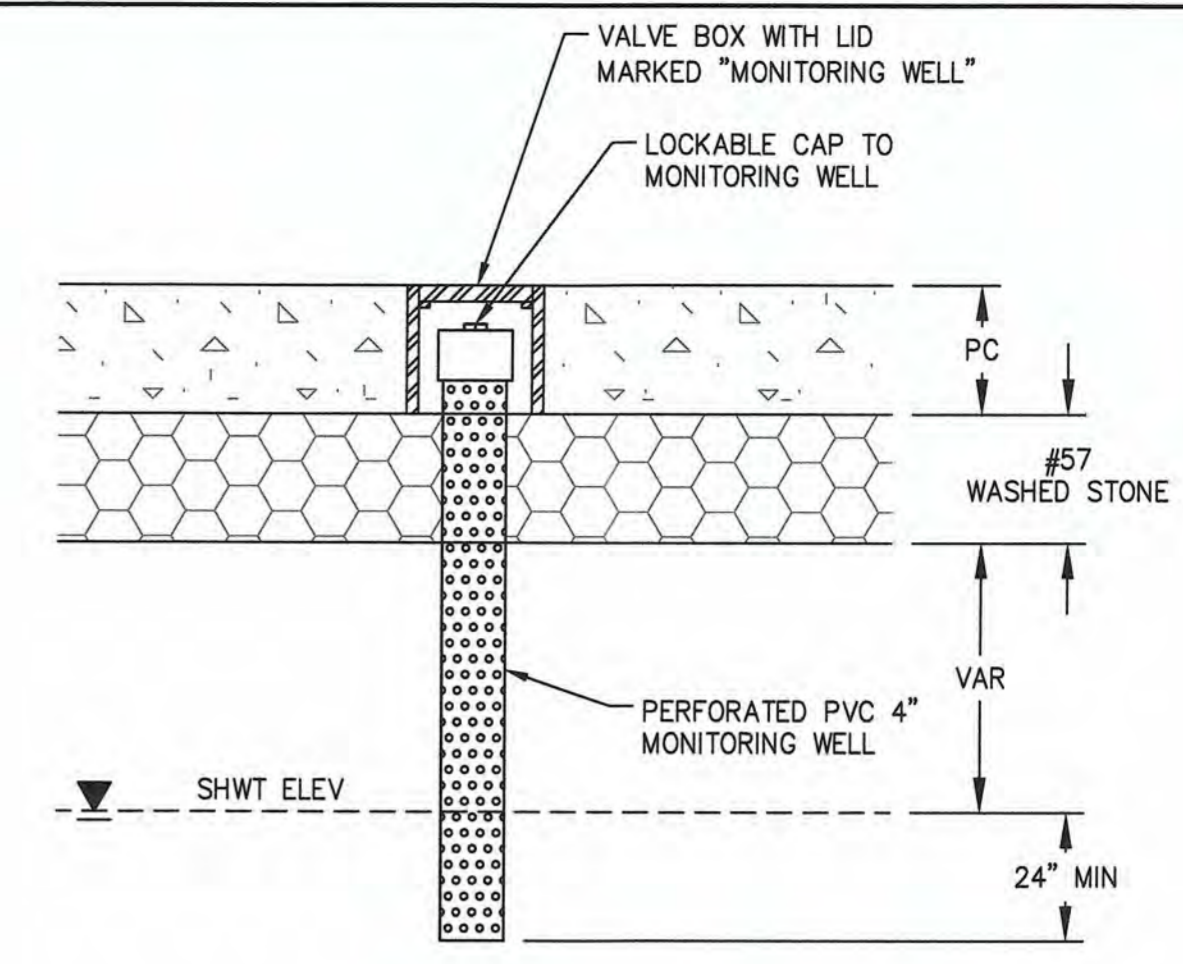
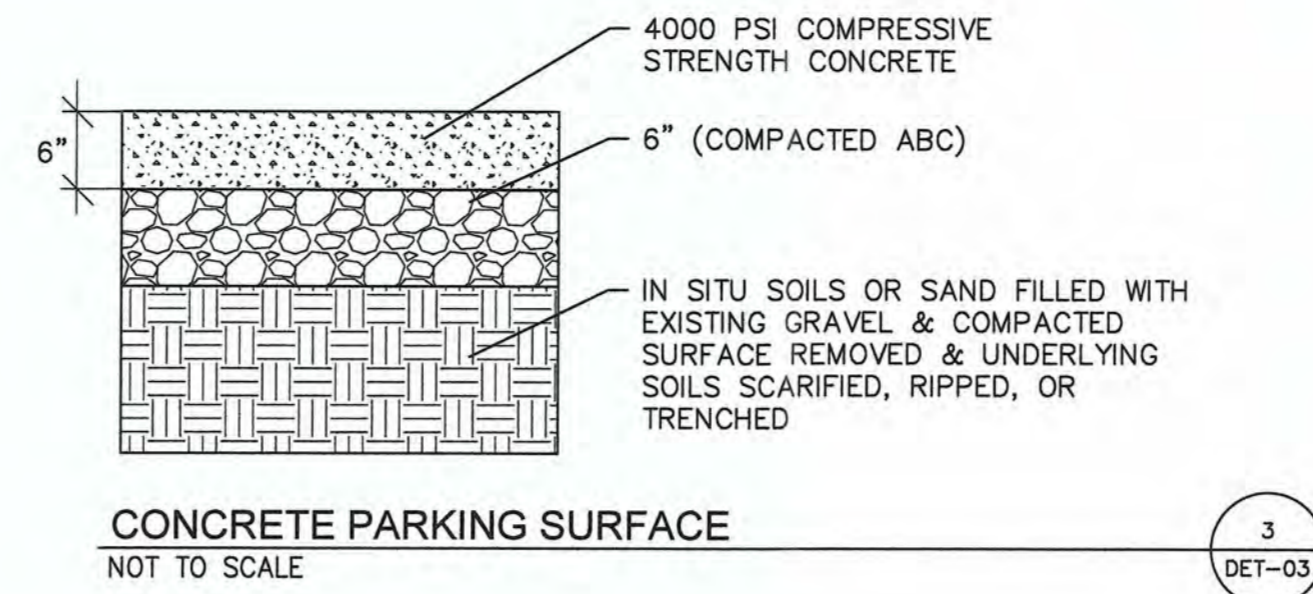
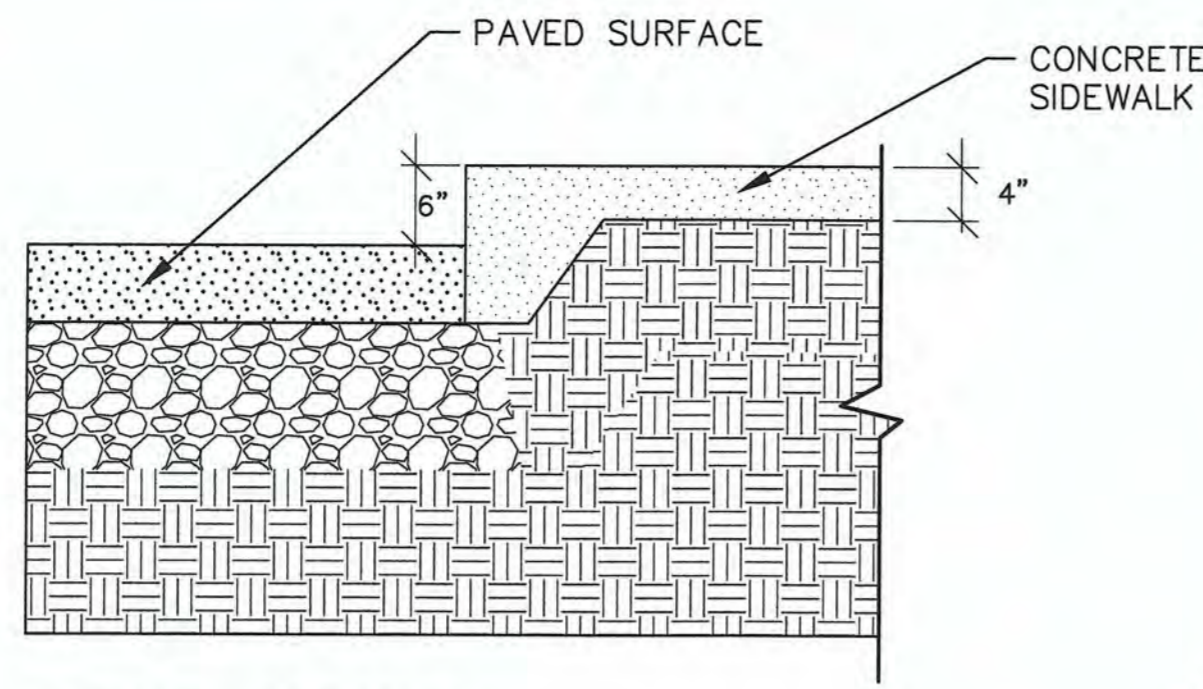
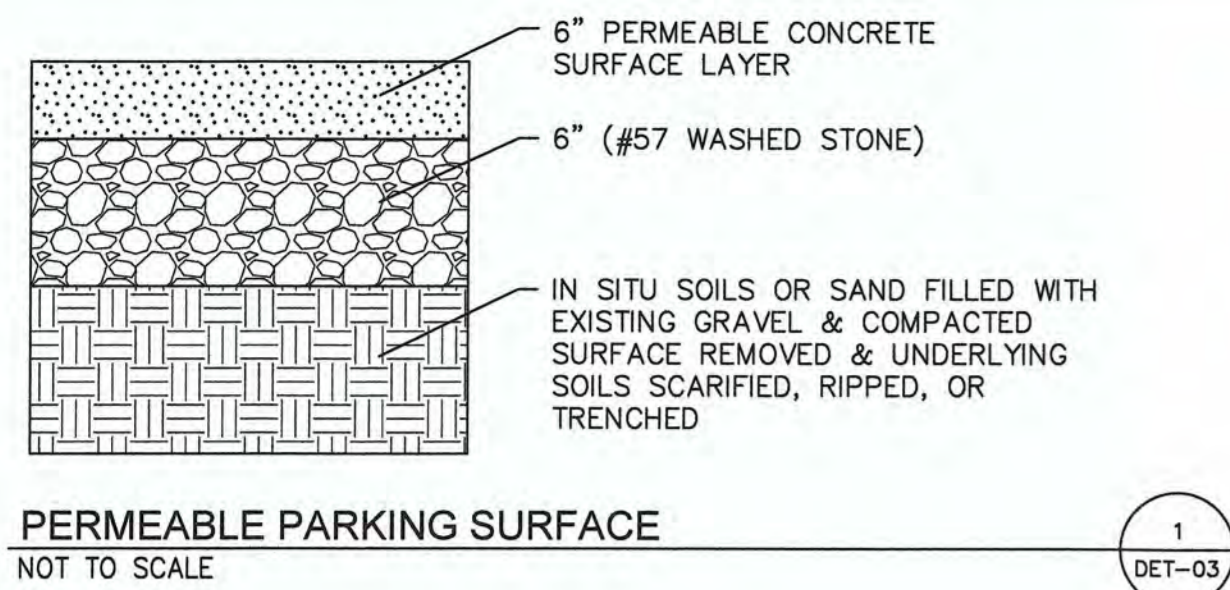
**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.clideng.com

**The Lofts at Park Ave.**  
 Wilmington, NC  
**SITE DETAILS**

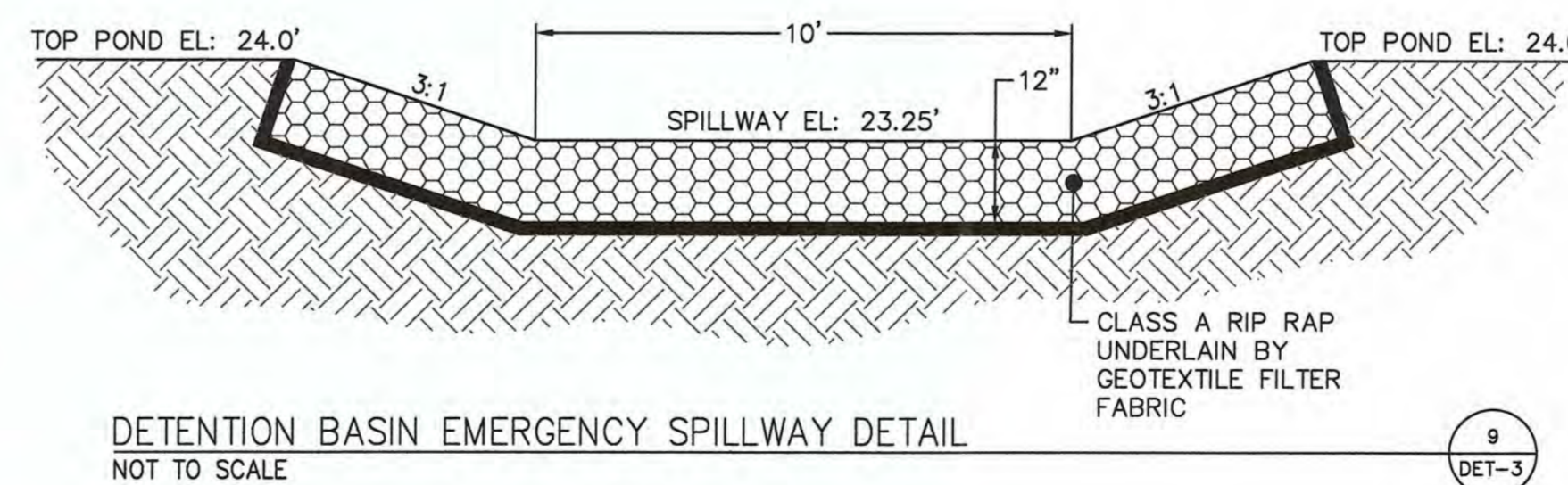
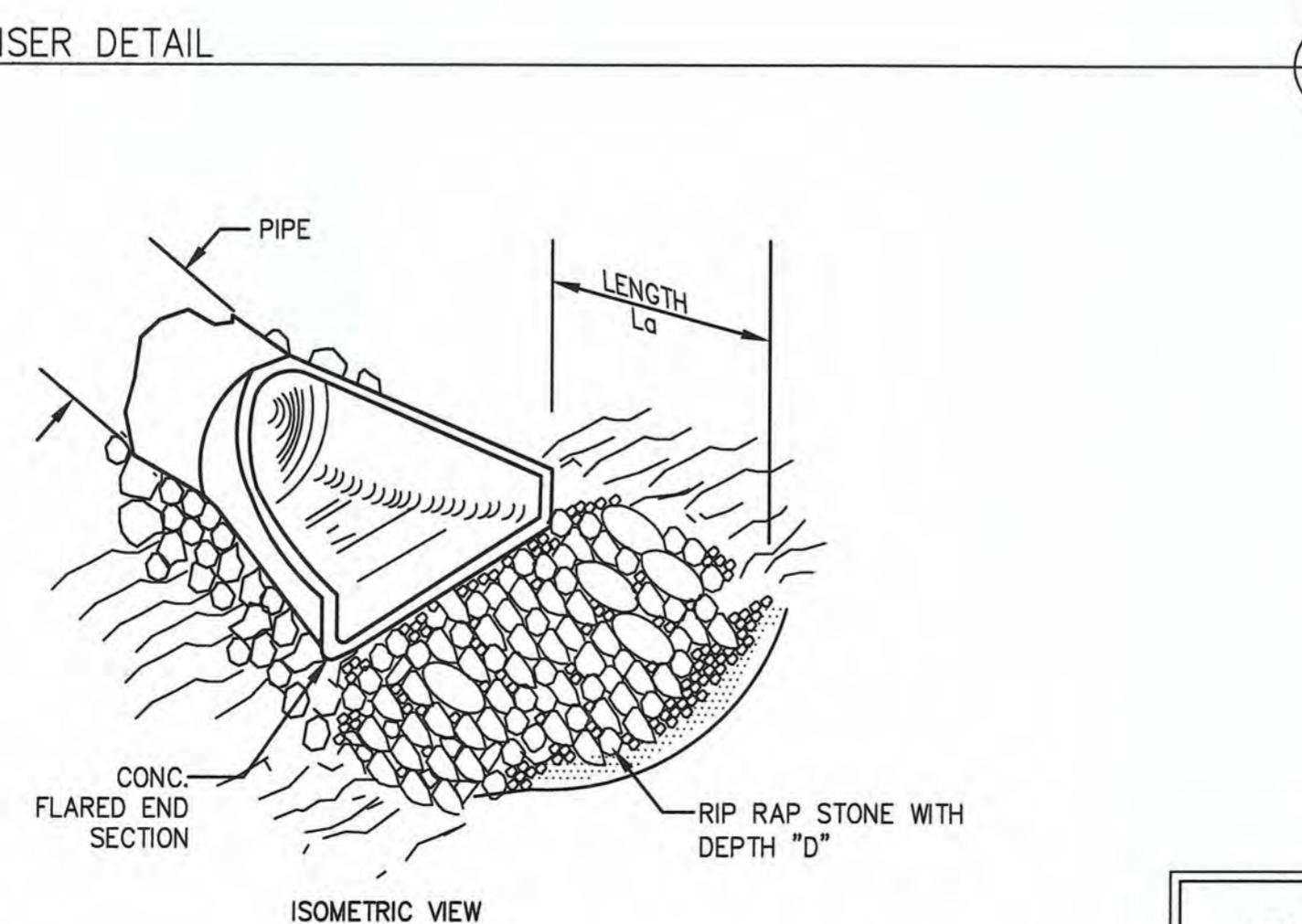
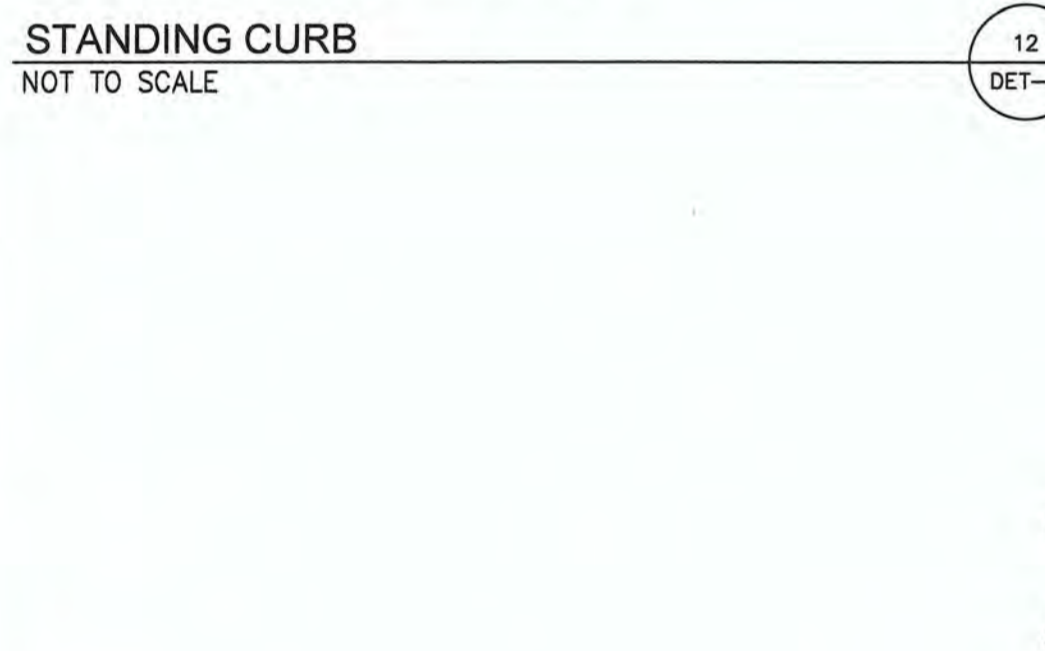
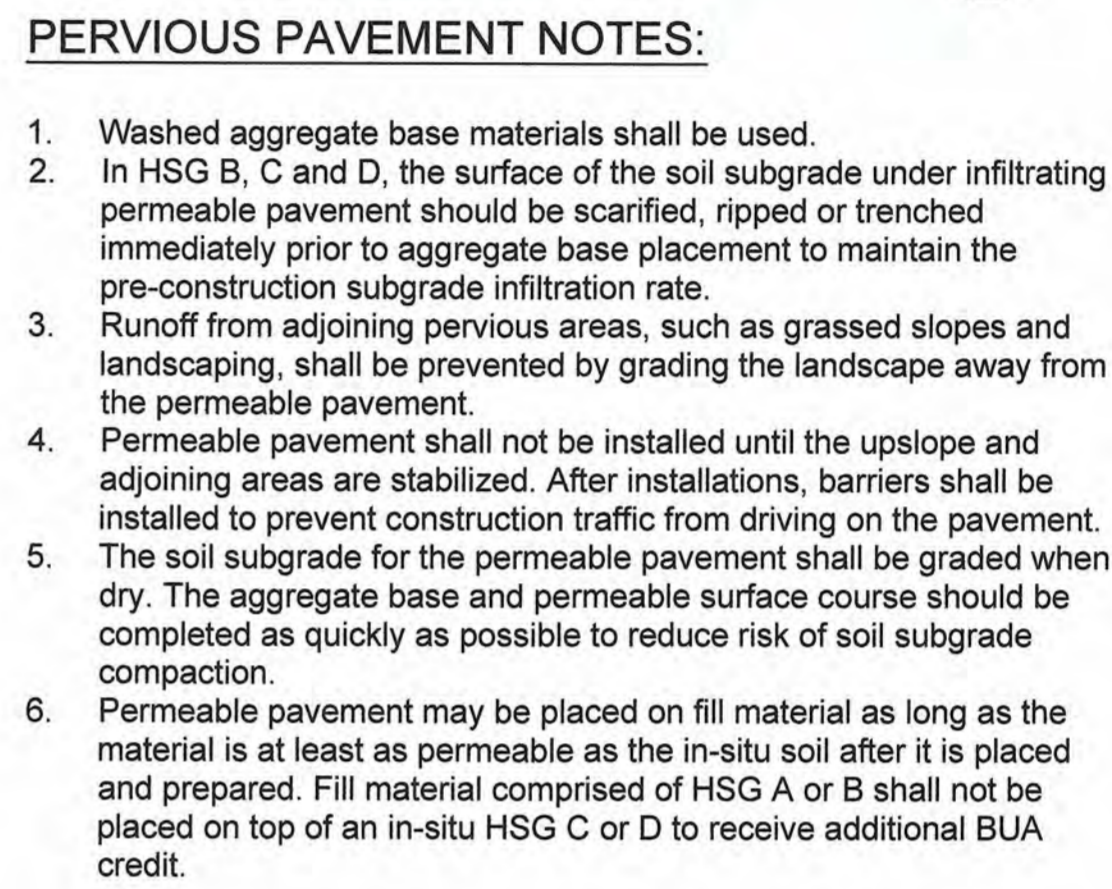
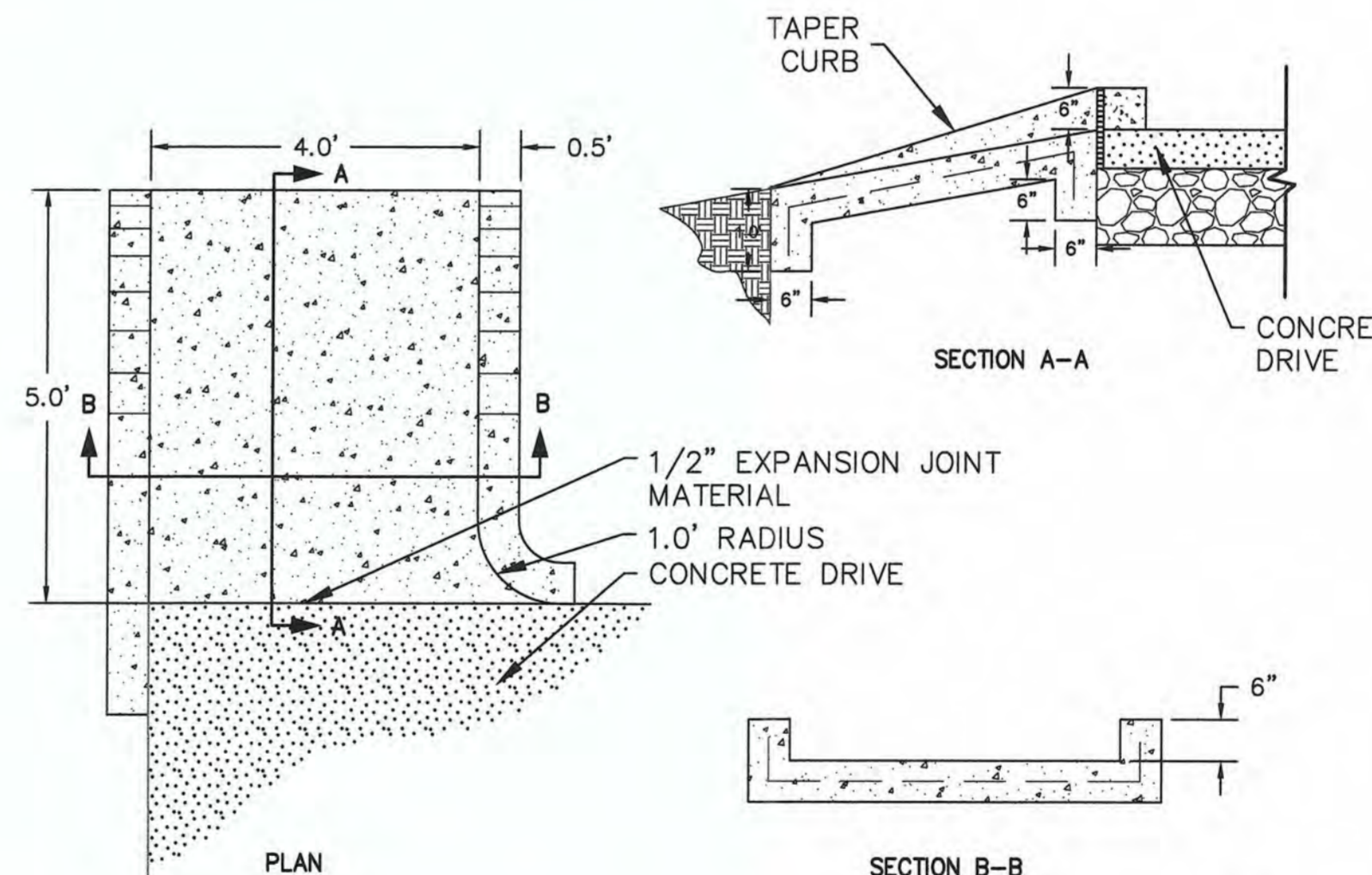
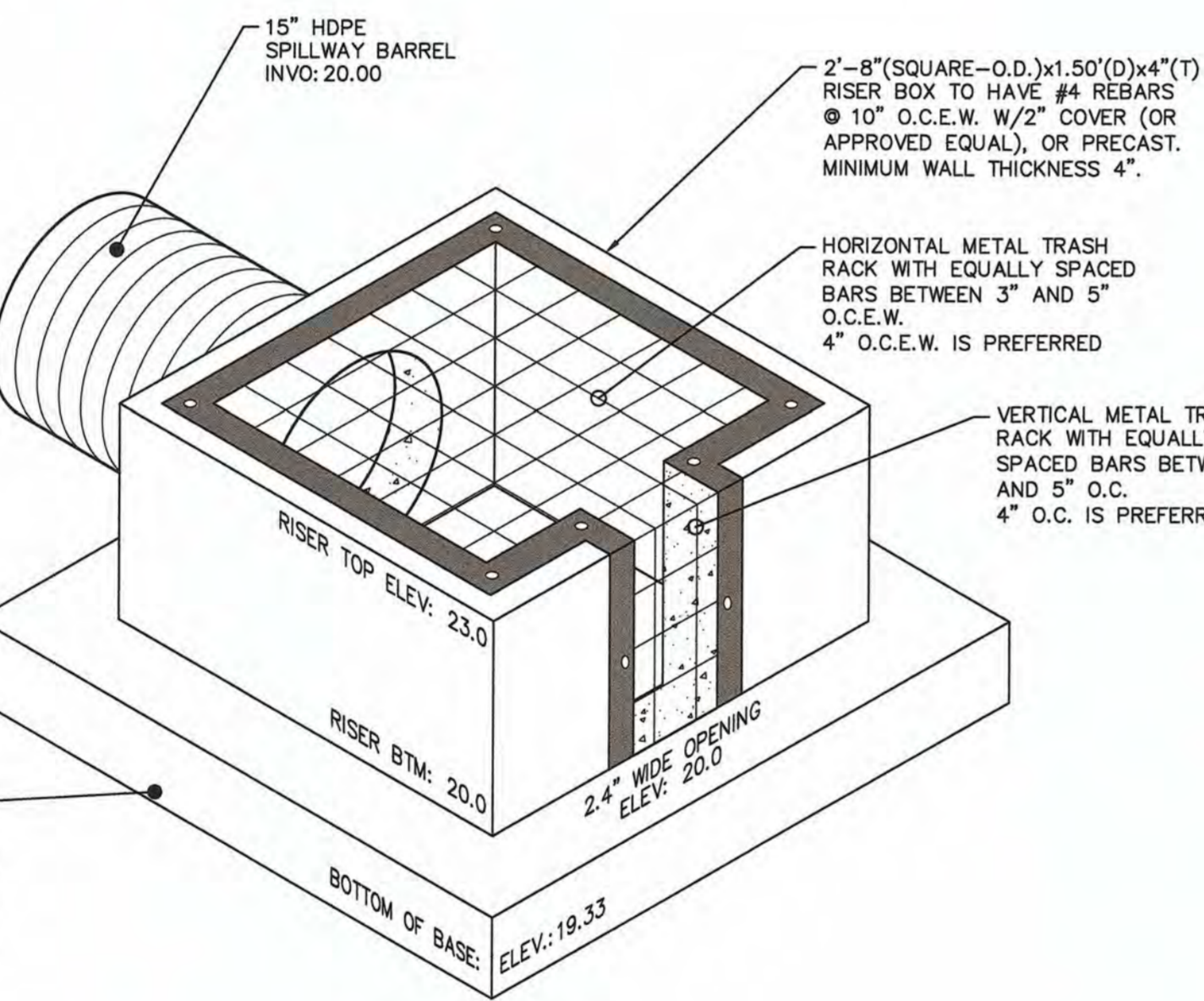
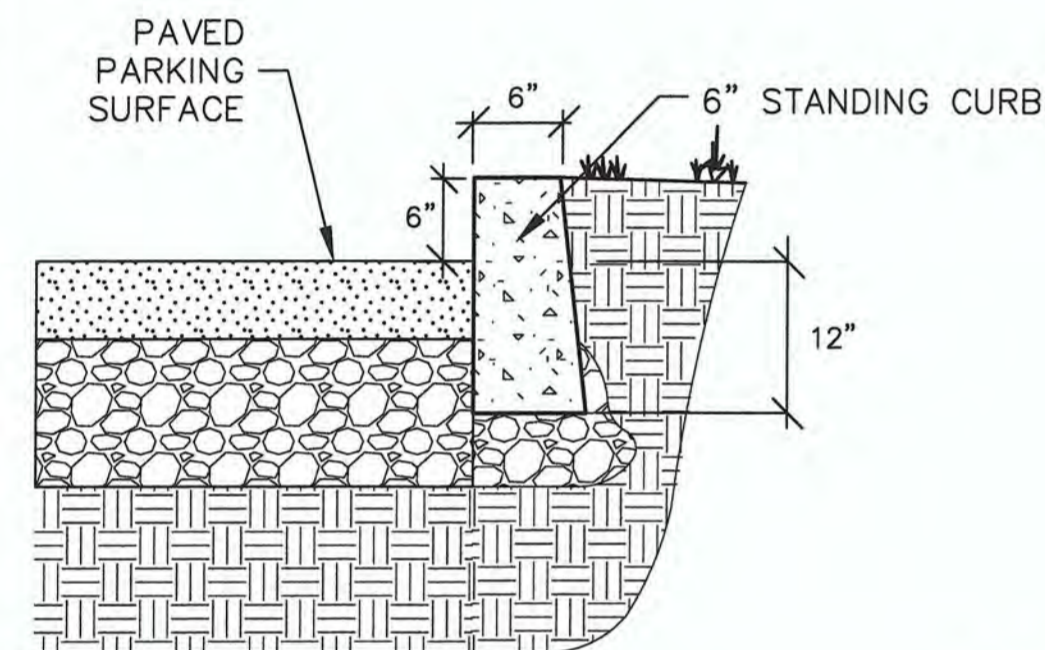
REV	DATE	DESCRIPTION	INITIALS
B	12/4/19	SIGNATURE SET	NA
A	5/17/19	INITIAL TRC REVIEW	NA

TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

**NORTH CAROLINA PROFESSIONAL SEAL**  
 028858  
 12/4/2019  
 APPROVED: JP PROJECT: 135-04  
 CHECKED: FB SCALE: AS SHOWN  
 DESIGNED: NA RELEASE: AIN  
**SHEET**  
**DET-02**



STORM	POND LEVEL	PRE-Q	POST-Q
2-YR	21.99 FMSL	2.47 CFS	1.88 CFS
10-YR	22.61 FMSL	3.03 CFS	2.80 CFS
25-YR	22.94 FMSL	3.42 CFS	3.35 CFS
100-YR	23.22 FMSL	4.07 CFS	6.48 CFS



- NOTES: SEE APPROPRIATE SCHEDULE FOR DIMENSIONS
- LA IS THE LENGTH OF THE RIPRAP APRON.
  - D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6"
  - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON APPROVED CONSTRUCTION PLAN

Name: *Nicole D. Smith* Date: *12/10/19*

Planning: *Nicole D. Smith* Traffic: *Jim D. Smith* File: *12-9-19*

WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: *12-9-19* Permit # *2019065*

Signed: *S. S. O. R.*

**BEFORE YOU DIG, CALL**

North Carolina 811

www.nc811.org

**Coastal Land Design, PLLC**

Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0399

P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldeng.com

The Lofts at Park Ave.  
Wilmington, NC

STORMWATER DETAILS

REV	DATE	DESCRIPTION	INIT

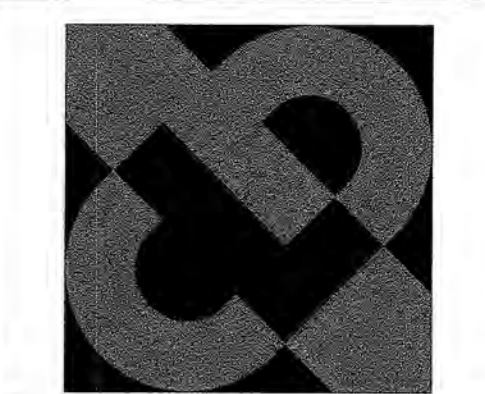
TC Ivey Properties, LLC  
1308 Bayside Circle  
Wilmington, NC 28405

NORTH CAROLINA PROFESSIONAL SEAL 028858

11/20/2019

APPROVED: JP PROJECT: 135-04  
CHECKED: FB SCALE: AS SHOWN  
DESIGNED: NA RELEASE: AIN

SHEET  
DET-03



**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldesign.com

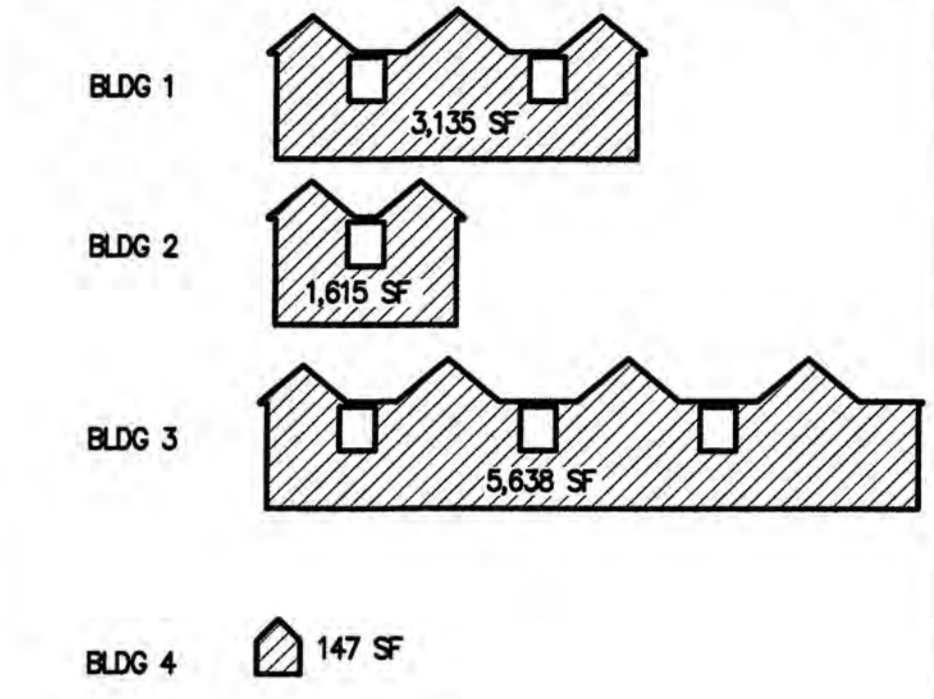
**The Lofts at Park Ave.**  
 Wilmington, NC

**LANDSCAPE PLAN**

**LANDSCAPE CALCULATIONS**

**SEC. 18-477 STREETYARD LANDSCAPING**  
 PARK AVE. 192 LF - 24' DW = 168 LF  
 S.Y. = 3,024 SF 168 x (18 MULTIPLYER CB DISTRICT)  
 REQ'D TREES.....5 TREES REQ'D  
 1/600 SF S.Y.  
 PROPOSED TREES.....5 PRESERVED 6 NEW  
 REQ'D SHRUBS.....30 SHRUBS REQ'D  
 6/600 SF S.Y.  
 PROPOSED SHRUBS.....55 SHRUBS

**SEC. 18-490 FOUNDATION PLANTING**  
 AREA OF FACADE x 0.12 = REQ'D FOUNDATION LANDSCAPE  
 TOTAL FACADE AREA (BLDG. 1-4).....10,535 SF  
 10,535 x 0.12 = 1,264 SF  
 TOTAL FOUNDATION LANDSCAPING REQUIRED.....1,264 SF  
 TOTAL FOUNDATION LANDSCAPING PROVIDED.....1,953 SF



**BUILDING 1**  
 REQ'D PLANTINGS.....376 SF  
 3,135 SF FACADE x 0.12  
 PROVIDED.....626 SF

**BUILDING 2**  
 REQ'D PLANTINGS.....194 SF  
 1,615 SF FACADE x 0.12  
 PROVIDED.....326 SF

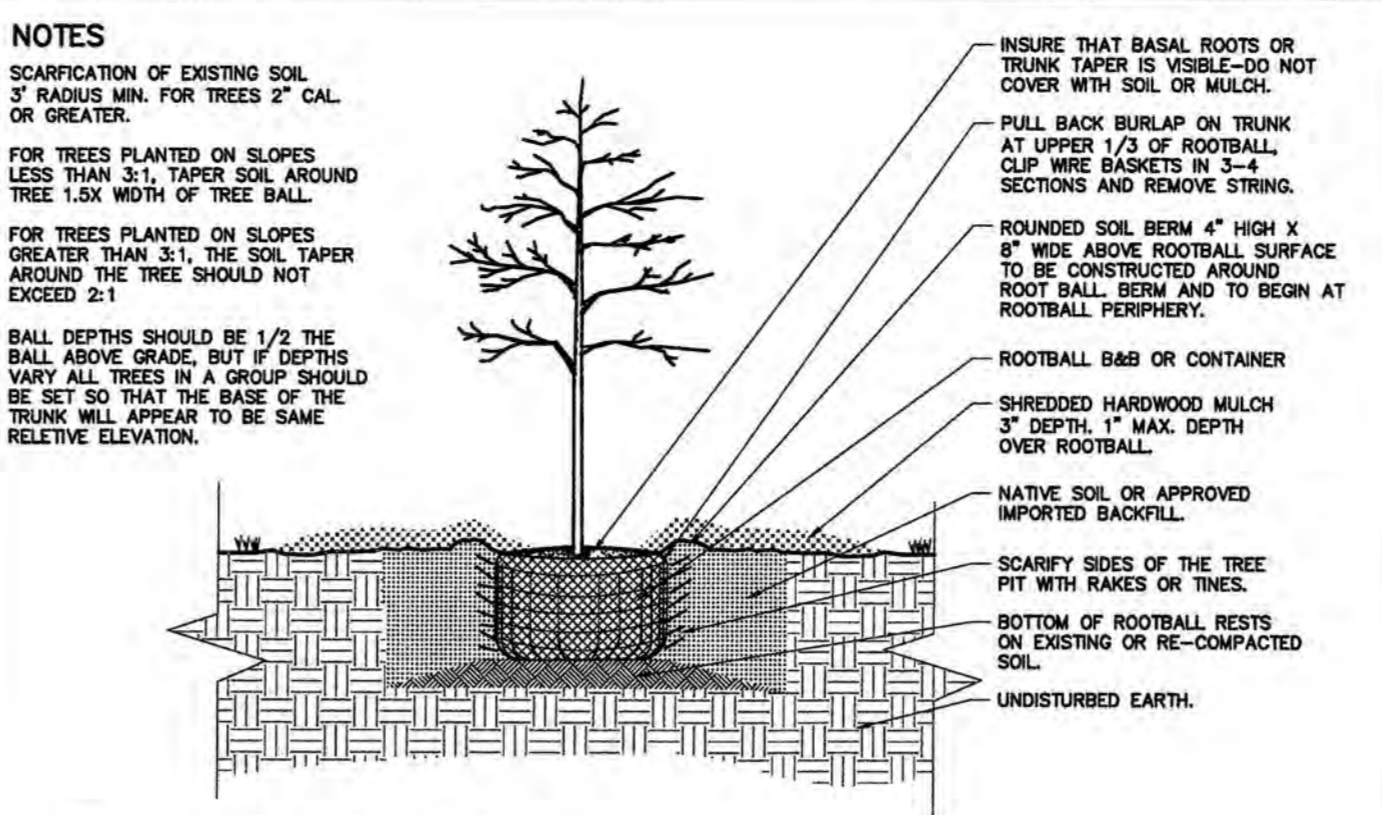
**BUILDING 3**  
 REQ'D PLANTINGS.....677 SF  
 5,638 SF FACADE x 0.12  
 PROVIDED.....350 SF

**BUILDING 4**  
 REQ'D PLANTINGS.....18 SF  
 147 SF FACADE x 0.12  
 PROVIDED.....50 SF

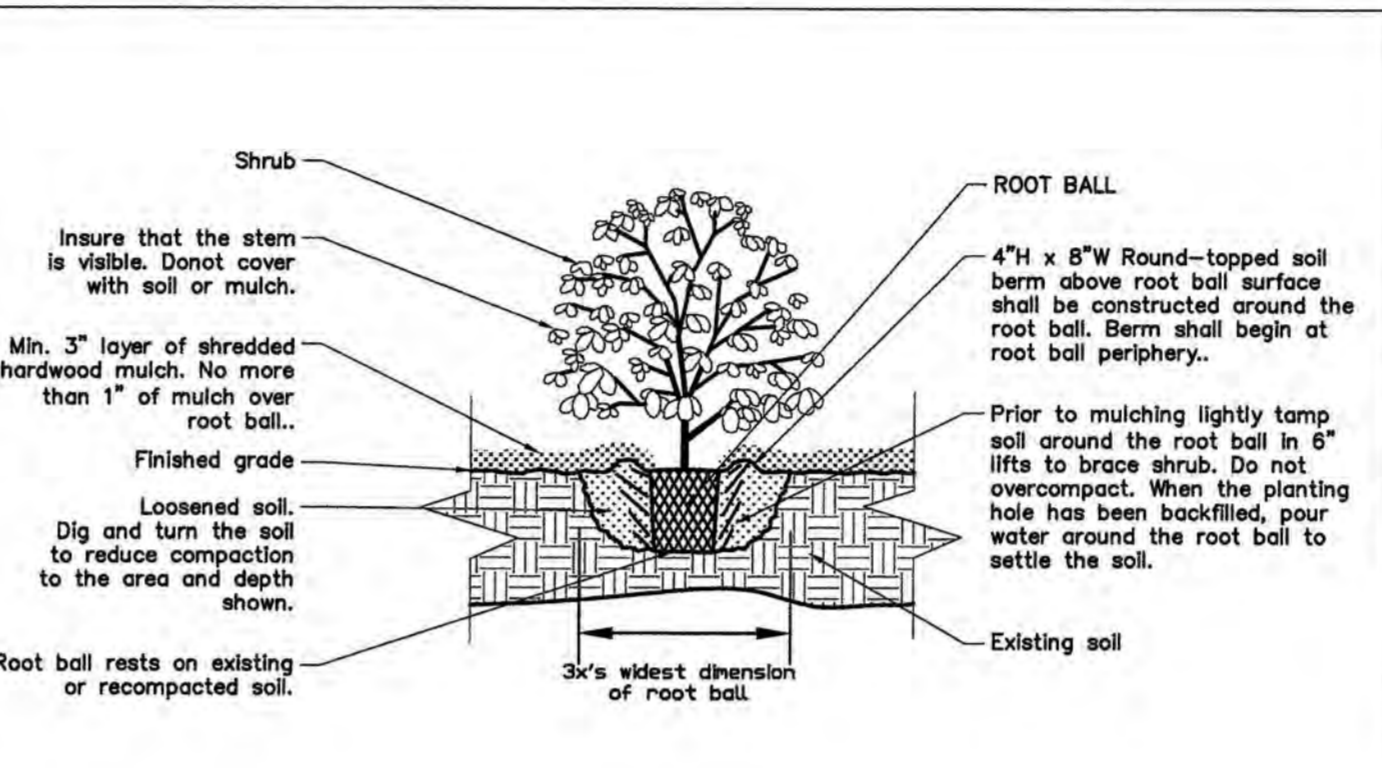
**SEC. 18-481 INTERIOR PARKING LOT LANDSCAPING**  
 MIN. 20% PARKING AREA TO BE SHADED BY TREES  
 PARKING & DRIVE AISLE = 16,450 SF  
 REQ'D SHADED AREA.....3,290 SF  
 PROV. SHADED AREA.....3,528 SF  
 4 Large Shade Trees @ 707 SF EA.  
 2 Small Shade Trees @ 350 SF EA.

**SEC. 18-483 PARKING AREA SCREENING**  
 PARKING W/IN 50' OF A ROW = 30LF  
 REQ'D.....3' HT x 5' WIDE SCREEN  
 PROV.....3' HT x 5' WIDE SCREEN

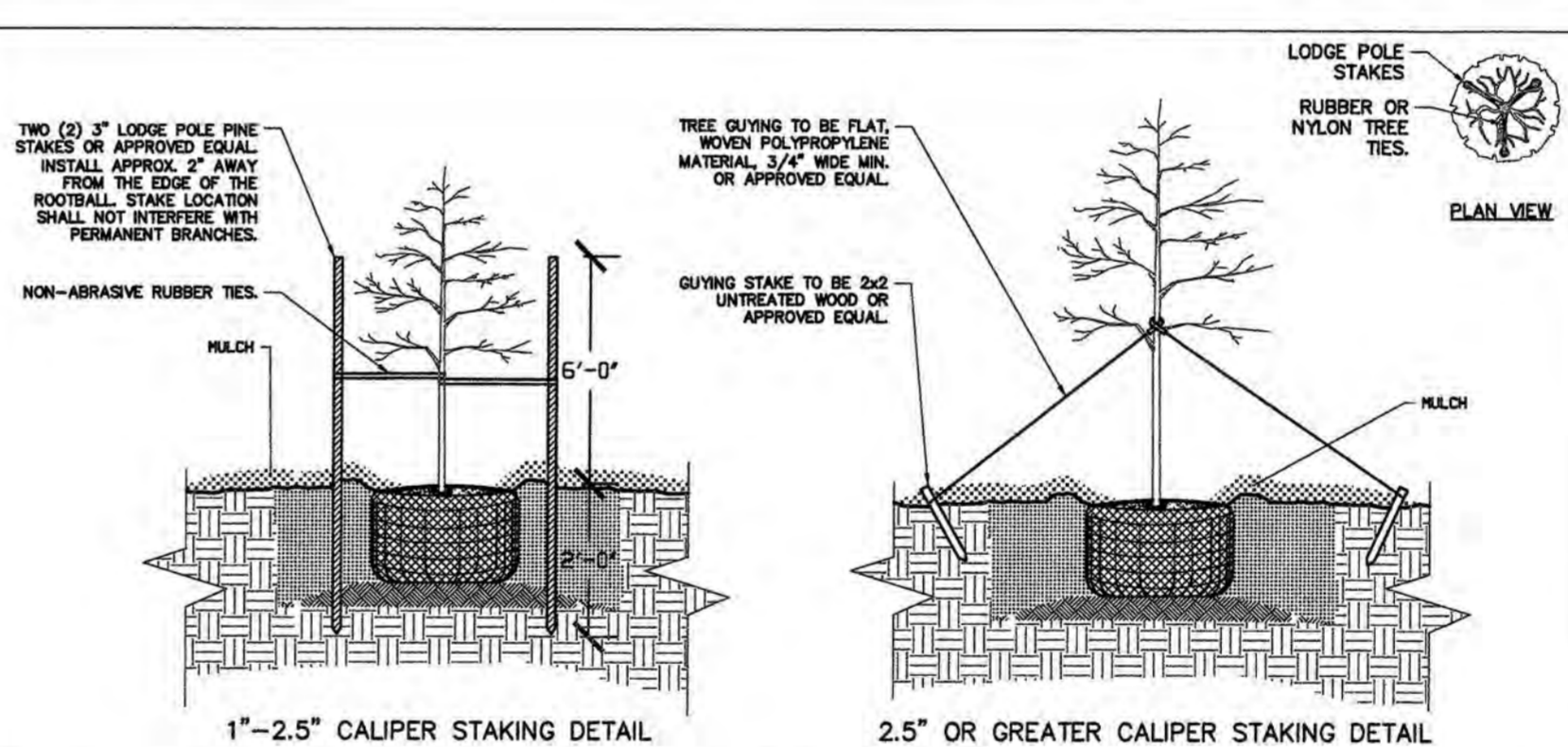
NO ADDITIONAL BUFFER REQUIRED. ADJOINING PROPERTIES ZONED CB.  
 XERIC LANDSCAPING FOR EXCEPTIONAL DESIGN  
 \* SEE EXCEPTIONAL DESIGN CRITERIA CALCS. ON SHEET SP-01



**D-1 TREE PLANTING DETAIL** NTS



**D-2 SHRUBS PLANTING DETAIL** NTS

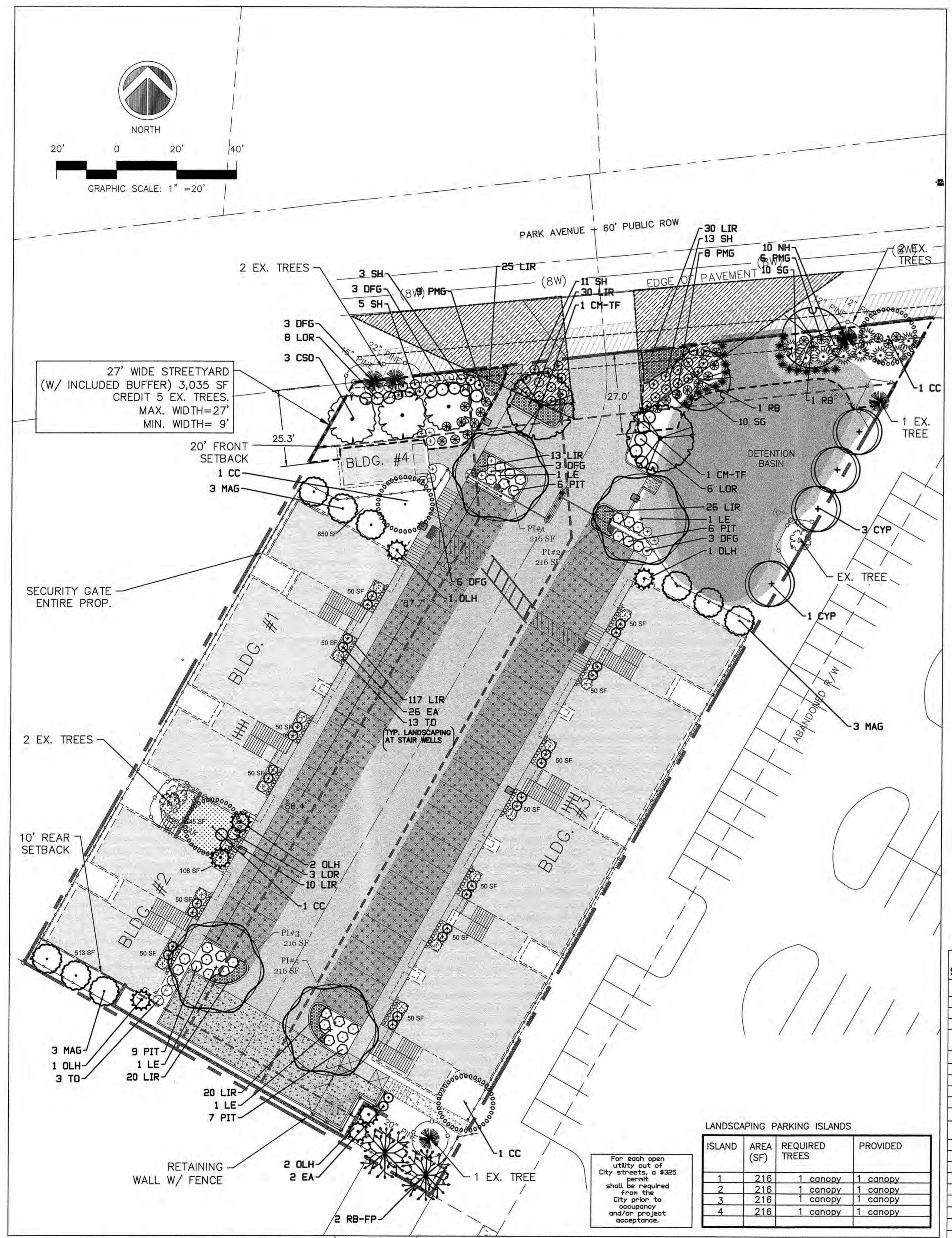


**D-3 STAKING DETAILS-LARGE AND SMALL TREES** NTS

**LANDSCAPE SCHEDULE**

SYMBOL	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS	WATER ZONE
<b>LARGE SHADE TREES</b>								
LE	4	Ulmus parvifolia	Laobank Elm	2"		B&B		1,2,3
CYP	4	Taxodium distichum 'Mickelson'	Shawnee Brave Bald Cypress	2"		B&B		1,2,3
CSD	3	Quercus robur x Q. alba Crinschmidt'	Crimson Spine Oak	2"		B&B		1,2,3
<b>SMALL SHADE TREES</b>								
CM-TF	2	*TREE FORM Lagerstroemia indica x fauriei 'Muskogee'	Tree form Muskogee Crape Myrtle		8-10'		TREE FORM	1,2,3
RB	2	Cercis canadensis 'Hearts of Gold'	Eastern Redbud 'Forest Pansy'		8-10'			1,2,3
RB-FP	2	Cercis canadensis 'Foest Pansy'	Eastern Redbud 'Hearts of Gold'		8-10'			1,2,3
MAG	9	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia			15 GAL.		1,2,3
CC	4	Carpinus caroliniana	American Hornbeam		8-10'			1,2,3
<b>SHRUBS</b>								
NH	10	Ilex cornuta 'Needlepoint'	Needlepoint Holly		3' MIN HT.	7 GAL.	6' O.C.	1,2,3
OLH	7	Ilex x 'Oak Leaf' PP#9487	Holly Oak Leaf PP#9487			15 GAL.		1,2,3
SH	32	Ilex crenata 'Soft Touch'	Soft Touch Holly			3 GAL.	4' O.C.	1,2,3
DFG	18	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass			1 GAL.	4' O.C.	1,2,3
EA	28	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae			7 GAL.	3' O.C.	1,2,3
SG	20	Panicum virgatum 'Shenandoah'	Switchgrass			3 GAL.	3' O.C.	1,2,3
PIT	28	Pittosporum tobira 'Wheeler's Dwarf'	Pittosporum Wheeler's Dwarf			3 GAL.	4' O.C.	1,2,3
LOR	17	Loropetalum chinense var. rubrum 'Ruby'	Loropetalum Ruby			3 GAL.	4' O.C.	1,2,3
PMG	23	Muhlenbergia capillaris	Pink Muhlygrass			3 GAL.	4' O.C.	1,2,3
TD	13	Osmanthus x fortunei	Fragrant Tea Olive			3 GAL.	4' O.C.	1,2,3
<b>GROUND COVER</b>								
LIR	291	Liriope muscari 'Variegata'	Variegated Liriope			1 GAL.	18" O.C.	1,2,3
SHRUB NOTE: Shrubs planted as part of the landscaping requirements are to be a min. of 12" at planting.								

\* SEE SHEET G-02 GENERAL NOTES FOR LANDSCAPING NOTES



**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

ISSUED FOR AGENCY REVIEW ONLY  
 NOT RELEASED FOR CONSTRUCTION

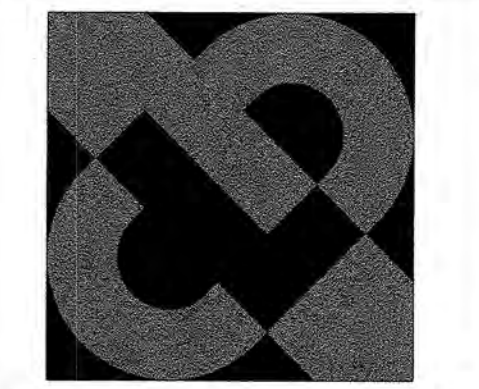
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit #: 2019065  
 Signed: S.F. 20

**CITY OF WILMINGTON**  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: Nicole D Smith 12/10/19  
 Traffic: W. Smith 12-9-19  
 Fire: J. V. Smith 12-9-19

**LANDSCAPING PARKING ISLANDS**

ISLAND	AREA (SF)	REQUIRED TREES	PROVIDED TREES
1	216	1 canopy	1 canopy
2	216	1 canopy	1 canopy
3	216	1 canopy	1 canopy
4	216	1 canopy	1 canopy

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

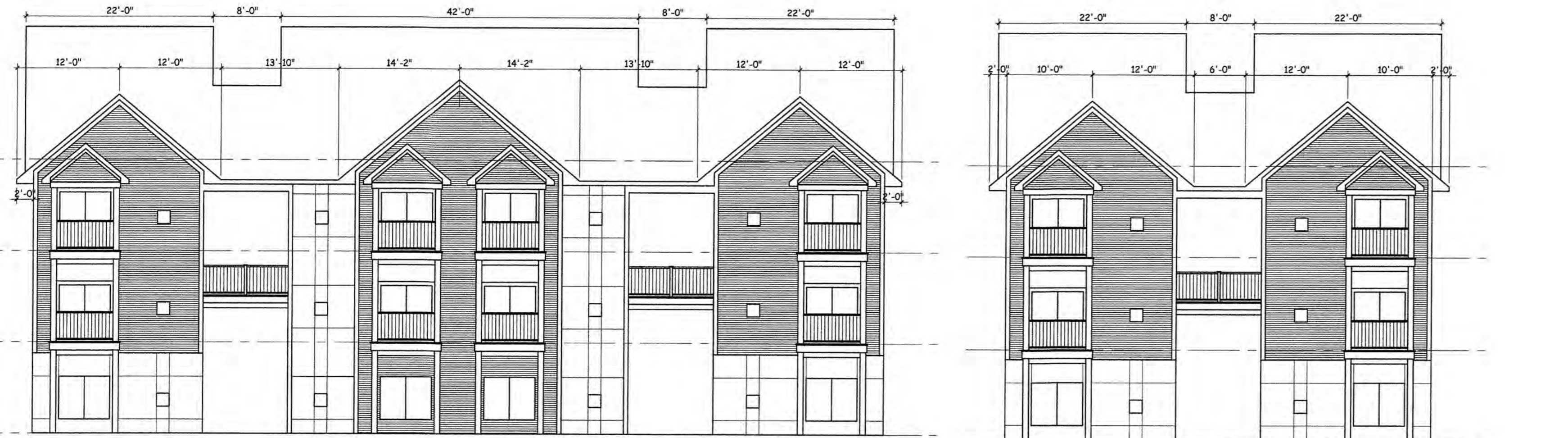


Coastal Land Design, PLLC  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

The Lofts at Park Ave.  
 Wilmington, NC  
 ARCHITECTURAL ELEVATIONS



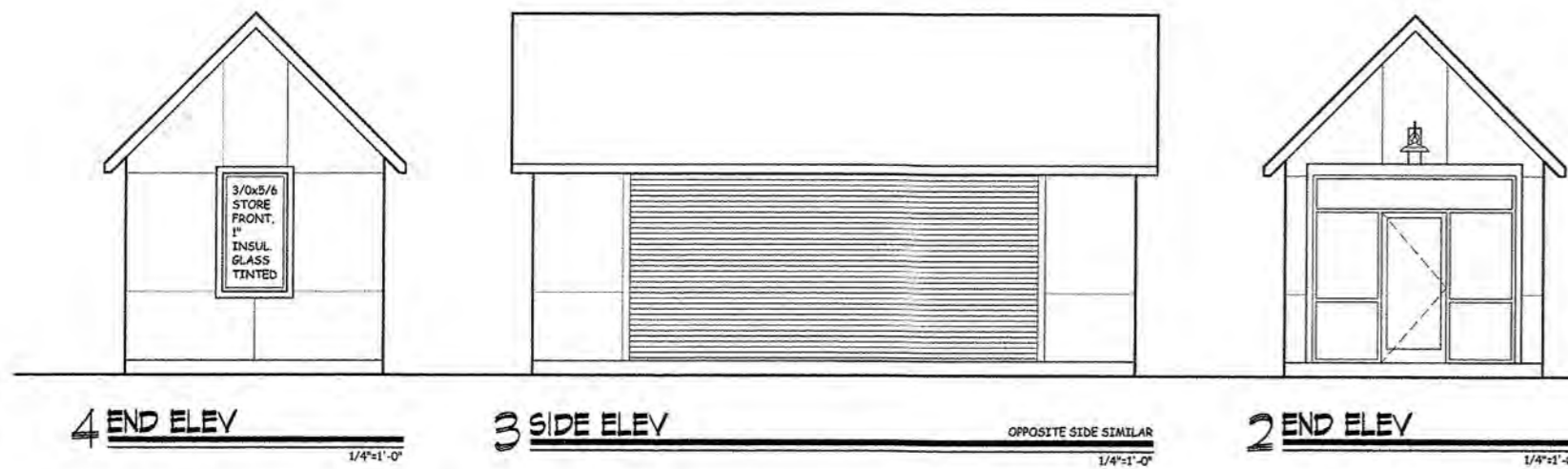
EXTERIOR ELEVATION :: 21 UNIT ::



EXTERIOR ELEVATION :: 12 UNIT ::



EXTERIOR ELEVATION :: 6 UNIT ::



**APPENDIX B**

2018 APPENDIX B  
 BUILDING CODE SUMMARY  
 FOR ALL COMMERCIAL PROJECTS  
 (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)  
 (REPRODUCE THE FOLLOWING DATA ON THE BUILDING PLANS SHEET 1 OR 2)

NAME OF PROJECT: THE LOFTS AT PARK AVE  
 ADDRESS: 514 PARK AVE, WILMINGTON, NC ZIP CODE: -  
 PROPOSED USE: APARTMENTS  
 OWNER: TC IVEY PROPERTIES, LLC  
 CONTACT: MARK GRENNELL, ARCHITECT PHONE # (910) 235-1061 E-MAIL: mg.architect@gmail.com

OWNED BY:  CITY/COUNTY  PRIVATE STATE

CODE ENFORCEMENT JURISDICTION: CITY: WILMINGTON COUNTY: NEW HANOVER STATE: N. C.

DESIGNER: MARK GRENNELL FIRM NAME: MARK GRENNELL, ARCHITECT LICENSE # TELEPHONE # E-MAIL #  
 7438 910-235-1061 mg.architect@gmail.com

CONSTRUCTION TYPE:  NEW CONSTRUCTION  ADDITION  ALTERATION  REPAIR  RENOVATION

CONSTRUCTED: 1988 RENOVATED:

ORIGINAL USER(S) (ON 3):  RESIDENTIAL  OFFICE  RETAIL  INDUSTRIAL  STORAGE  OTHER  
 CURRENT USER(S) (ON 3):  RESIDENTIAL  OFFICE  RETAIL  INDUSTRIAL  STORAGE  OTHER  
 PROPOSED USER(S) (ON 3):  RESIDENTIAL  OFFICE  RETAIL  INDUSTRIAL  STORAGE  OTHER

BASIC BUILDING DATA

CONSTRUCTION TYPE (CHECK ALL THAT APPLY):  IA  IIA  IIB  IVC  IVA  
 IS  IIS  IISB  IIV  IIVB

SPRINKLERS:  NO  PARTIAL  FULL  NFPA 13  NFPA 13R  NFPA 13A  
 STANDPIPE:  YES  NO CLASS:  I  II  III  WET  DRY  
 FIRE DISTRICT:  YES (PRIMARY)  NO  
 FLOOD HAZARD AREA:  NO  YES  
 BUILDING HEIGHT (FEET):  4

GROSS BUILDING AREA

FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	SUB-TOTAL	RENOVATED (SQ. FT.)	UPFIT (SQ. FT.)
1st FLOOR					
MEZZANINE					
2nd FLOOR					
TOTAL					

ALLOWABLE AREA

OCCUPANCY ASSESSMENT:  A-1  A-2  A-3  A-4  A-5

BUSINESS:

EDUCATIONAL:

FACTORY:  MODERATE  F-2 LOW

HAZARDOUS:  H-1 DETONATE  H-2 DEFLAGRATE  H-3 COMBUST  H-4 HEALTH  H-6 HPM

INSTITUTIONAL:  I-1 CONVENTION  I-2  I-3  I-4  I-5

MERCANTILE:

RESIDENTIAL:  R-1  R-2  R-3  R-4

STORAGE:  S-1 MODERATE  S-2 LOW  HIGH PAILED

UTILITY AND MISCELLANEOUS:

ACCESSORY OCCUPANCY:

ARENA:  A-2  A-3  A-4  A-5

BUSINESS:

EDUCATIONAL:

FACTORY:  MODERATE  F-2 LOW

HAZARDOUS:  H-1 DETONATE  H-2 DEFLAGRATE  H-3 COMBUST  H-4 HEALTH  H-6 HPM

INSTITUTIONAL:  I-1 CONVENTION  I-2  I-3  I-4  I-5

MERCANTILE:

RESIDENTIAL:  R-1  R-2  R-3  R-4

STORAGE:  S-1 MODERATE  S-2 LOW  HIGH PAILED

UTILITY AND MISCELLANEOUS:

INCIDENTAL USES (TABLE 506.2.5):

- FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU PER HOUR INPUT
- ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER
- REFRIGERANT MACHINE ROOM
- HYDROGEN CUTOFF ROOM, NOT CLASSIFIED AS GROUP H
- RECREATOR ROOMS
- PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F
- LABORATORIES AND VOCATIONAL SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN A GROUP E OR I-2 OCCUPANCY
- LAUNDRY ROOMS OVER 100 SQUARE FEET
- GROUP A-1 CELLS EQUIPPED WITH PANOLED SURFACES
- GROUP I-2 WASTE AND LINEN COLLECTION ROOMS
- WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET
- STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS, OR A ULTRACAPACITOR CAPACITY OF 1,000 POUNDS USED FOR FACILITY STANDBY POWER, EMERGENCY POWER OR UNINTERRUPTED POWER SUPPLIES
- ROOMS CONTAINING FIRE PUMPS
- GROUP I-2 STORAGE ROOMS OVER 100 SQUARE FEET
- GROUP I-2 COMMERCIAL KITCHENS
- GROUP I-2 LAUNDRIES EQUAL TO OR LESS THAN 100 SQUARE FEET
- GROUP F ROOMS OR SPACES THAT CONTAIN FUEL-FIRED HEATING EQUIPMENT

SPECIAL USES:  U-48  U-49  U-50  U-51  U-52  U-53  U-54  U-55  U-56  U-57  U-58  U-59  U-60

SPECIAL PROVISIONS:  S-59.2  S-59.3  S-59.4  S-59.5  S-59.6  S-59.7  S-59.8  S-59.9

MINIMUM OCCUPANCY:  NO  YES SEPARATION:  NO EXEMPTION

INCIDENTAL USE SEPARATION (506.2.5)  
 THIS SEPARATION IS NOT REQUIRED AS A NON-SEPARATED USE (SEE EXCEPTIONS).

NON-SEPARATED USE (506.3)  
 THIS SEPARATION IS NOT REQUIRED AS A NON-SEPARATED USE (SEE EXCEPTIONS).  
 FOR EACH OF THE APPLICABLE OCCUPANCIES FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING, THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.

SEPARATED USE (506.4) - SEE BELOW FOR AREA CALCULATIONS  
 FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1.

ACTUAL AREA OF OCCUPANCY A = \_\_\_\_\_ ALLOWABLE AREA OF OCCUPANCY B = \_\_\_\_\_  
 ALLOWABLE AREA OF OCCUPANCY C = \_\_\_\_\_ (1 OR LESS)

STORY NO. AND USE	BUILDING AREA (ACTUAL)	TABLE 506.2 (2) AREA FOR FRONTAGE INCREASE (A)	AREA FOR FRONTAGE INCREASE (B)	AREA FOR FRONTAGE INCREASE (C)	ALLOWABLE AREA OR INCREASE (D)	MAXIMUM BUILDING AREA (E)
1 R-2	6,094.9 SF	12,000.0 SF	NOT USED	0 SF	12,000.0 SF	12,000.0 SF(A)
2 R-2	8,094.9 SF	12,000.0 SF	NOT USED	0 SF	12,000.0 SF	12,000.0 SF(A)
3 R-2	8,094.9 SF	12,000.0 SF	NOT USED	0 SF	12,000.0 SF	12,000.0 SF(A)
4 R-2	6,094.9 SF	12,000.0 SF	NOT USED	0 SF	12,000.0 SF	12,000.0 SF(A)

(1) FRONTAGE AREA INCREASE FROM SECTION 506.4 ARE COMPUTED AS FOLLOWS:  
 A. FRONTIER WIDTH FRONTING A PUBLIC WAY OR OPEN SPACE HAVING 30 FEET MINIMUM WIDTH + \_\_\_\_\_ (F)  
 B. TOTAL BUILDING PERIMETER + \_\_\_\_\_ (P)  
 C. RATIO (F/P)

(2) THE FRONTAGE AREA INCREASE FROM SECTION 506.4 IS 100 PERCENT OF THE FRONTAGE AREA INCREASE FROM SECTION 506.4.  
 A. MULTI-STORY BUILDING IS 100 PERCENT  
 B. UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTION 507  
 C. MAXIMUM BUILDING AREA APPLICABLE UNDER CONDITIONS OF SECTION 507  
 D. THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH TABLE 406.3.6. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH TABLE 406.3.7.

ALLOWABLE HEIGHT	TABLE 509	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
TYPE OF CONSTRUCTION	TYPE	TYPE	TYPE	TYPE
BUILDING HEIGHT IN FEET	FEET	FEET	FEET	FEET
BUILDING HEIGHT IN STORES	STORES	STORES	STORES	STORES

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING (REVISION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS, AND JOISTS						
BEARING WALLS						
INTERIOR WALLS						
EXTERIOR WALLS						
NONBEARING WALLS AND PARTITIONS						
INTERIOR WALLS						
EXTERIOR WALLS						
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS						
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS						
SHAFT ENCLOSURES - EXIT						
SHAFT ENCLOSURES - OTHER						
CORRIDOR SEPARATION						
OCCUPANCY SEPARATION						
PROPERTY WALL SEPARATION						
BACKDROP SEPARATION						
TENANT SEPARATION						
INCIDENTAL USE SEPARATION						

INDICATE SECTION NUMBER PERMITTING REDUCTION

LIFE SAFETY SYSTEM REQUIREMENTS (PLEASE SEE US1)

EMERGENCY LIGHTING:  YES  NO

EXIT SIGNS:  YES  NO

FIRE ALARM:  YES  NO

SMOKE DETECTION SYSTEMS:  YES  NO

PANIC HARDWARE:  YES  NO

ACCESSIBLE PARKING (SECTION 1106)

EXISTING PARKING: TOTAL # OF PARKING SPACES: \_\_\_\_\_ # OF ACCESSIBLE SPACES PROVIDED: \_\_\_\_\_ TOTAL ACCESSIBLE AREA: \_\_\_\_\_

REQUIRED: \_\_\_\_\_ PROVIDED: \_\_\_\_\_ WITH # ACCESSIBLE: \_\_\_\_\_

PLEASE SEE CIVIL DRAWINGS

TOTAL INCLUDES ACCESSIBLE SPACES- PLEASE SEE CIVIL DRAWINGS

REV	DATE	DESCRIPTION	INIT	DATE	DESCRIPTION
B	12/4/19	SIGNATURE SET	NA		
A	5/17/19	INITIAL TRC REVIEW	NA		

TC Ivey Properties, LLC  
 1308 Bayside Circle  
 Wilmington, NC 28405

APPROVED: JP	PROJECT: 135-04
CHECKED: JFB	SCALE: NTS
DESIGNED: NAA	RELEASE: AIN

SHEET  
 A-01

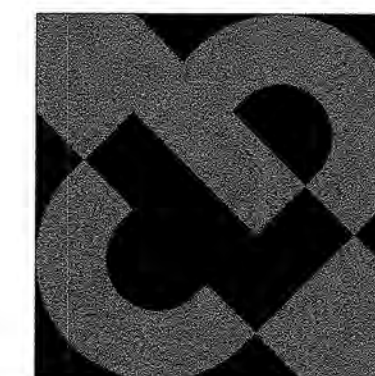
BEFORE YOU DIG, CALL  
 North Carolina 811  
 www.nc811.org

ISSUED FOR AGENCY REVIEW ONLY  
 NOT RELEASED FOR CONSTRUCTION

CITY OF WILMINGTON  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: Elee

CITY OF WILMINGTON  
 Approved Construction Plan  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: Nicole Smith 12/10/19  
 Traffic: \_\_\_\_\_ 12-9-19  
 Fire: James Menitt 12-9-19

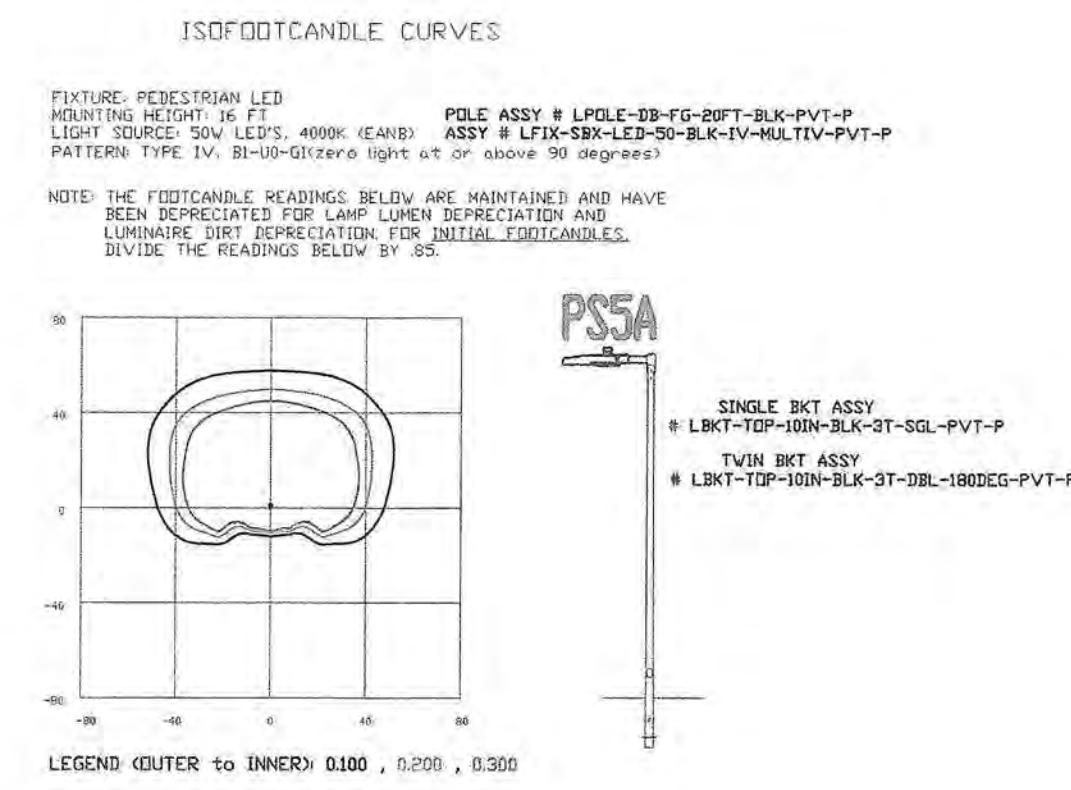
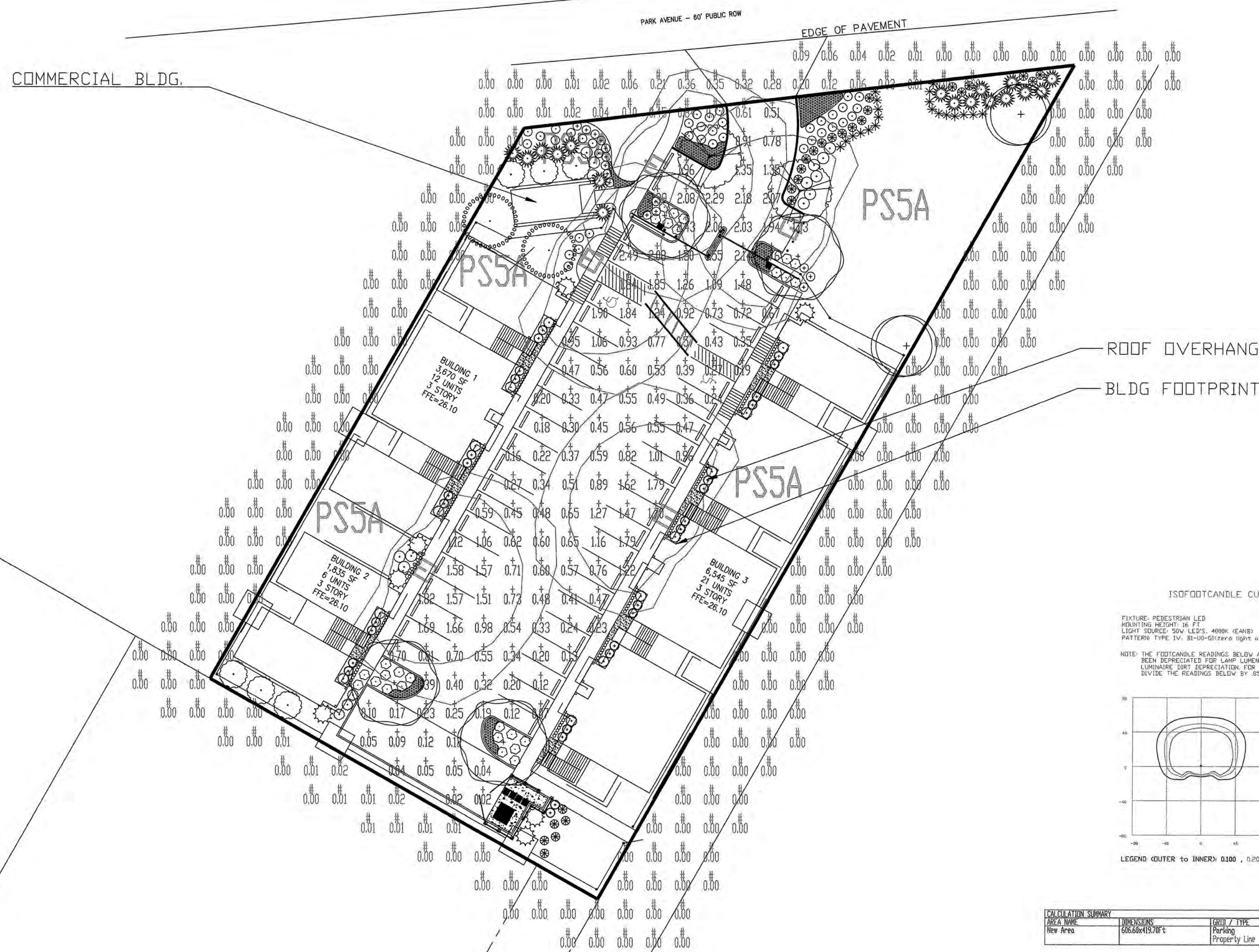
For each open utility cut of city streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**Coastal Land Design, PLLC**  
 Civil Engineering / Landscape Architecture  
 Land Planning / Construction Management  
 NCBELS Firm License P-0369  
 P.O. Box 1172 Phone: 910-254-9333  
 Wilmington, NC 28402 Fax: 910-254-0502  
 www.cldeng.com

**The Lofts at Park Ave.  
 Wilmington, NC**

**LIGHTING PLAN**

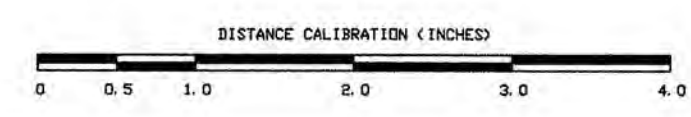


AREA NAME	DESCRIPTION	GRID / TYPE	FE PIS	SPAC	GROUP	Avg	MAX	MIN	MAX/MIN	Avg/Min
New Area	605.68419/8%	Parking Property Line	088 201	10.00 1.00	60 40	0.85 0.02	2.49 1.81	0.02 0.00	120.79 N/A	4.07 N/A

THE LOFTS 03-GRID LUMINAIRE SCHEDULE	LAMP	LUMENS	MOUNTING/BALLAST	HLF	DOTY
PS5A	(D) LED 4000K	4313	16' Ht 11' Feet Shoebox	885	5

**LIGHTING DESIGN TOLERANCE**  
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval \_\_\_\_\_ Date \_\_\_\_\_



**PROPRIETARY & CONFIDENTIAL**  
 This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy Progress, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy Progress. Duke Energy Progress disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

THE LOFTS  
 WILMINGTON, NC  
 SITE LIGHTING PLAN  
 Designed by DEP LIGHTING SOLUTIONS  
 Reviewed by N. Johnson Scale NOT TO SCALE  
 Date 07/22/2019 Size "Arch D"  
 Description LED Pedestrian Shoebox  
 Drawing No. 19-0201A Sht. 1 OF 1

**BEFORE YOU DIG, CALL**  
**North Carolina 811**  
 www.nc811.org

ISSUED FOR AGENCY REVIEW ONLY  
 NOT RELEASED FOR CONSTRUCTION

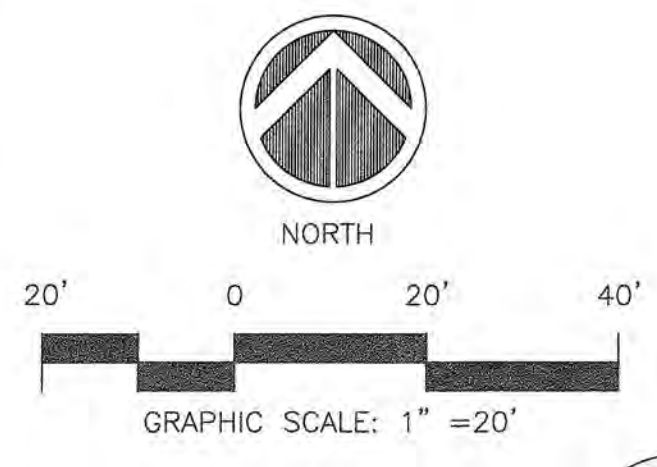
**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: 12-9-19 Permit # 2019065  
 Signed: E-J-C

**CITY OF WILMINGTON**  
 Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning Nicole Dymith 12/10/19  
 Traffic W Smith 12-9-19  
 Fire James Minnith 12-9-19

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED: JP	PROJECT: 135-04
CHECKED: JFB	SCALE: NTS
DESIGNED: NAA	RELEASE: AIN

SHEET  
**LP-01**



**Proposed Regulated Trees to be Removed**

Tree Name	# of Trees	DBH	% Mitigation	Total DBH
Dogwood	1	6	0	0
Oak	6	8	100	48
Oak	1	11	100	11
Oak	1	12	100	12
Oak	1	16	100	16
Oak	2	9	100	18
Oak	1	10	100	10
Hickory	1	16	75	12
Gum	1	13	75	10
Gum	1	18	75	13.5
Pine	2	15	100	30
Pine	1	22	100	22
Pine	2	17	100	34
Pine	3	18	100	54
Pine	5	16	100	80
Pine	6	12	100	72
<b>Total DBH of Removed Regulated Trees</b>				<b>442.5</b>

**Regulated Trees Requiring Mitigation**

Tree Name	# of Trees	DBH	% Mitigation	Total DBH
Pine	4	12	100	48
Pine	2	16	100	32
Pine	1	22	100	22
Oak	2	8	100	16
Oak	2	9	100	18
Oak	1	10	100	10
Oak	1	16	100	16
Hickory	1	16	100	16
Sweetgum	1	18	75	13.5
Sweetgum	1	13	75	10
<b>Total DBH of Removed Regulated Trees</b>				<b>201.5</b>
<b>Total Trees Req. for Mitigation</b>	<b>3</b>			<b>=67</b>

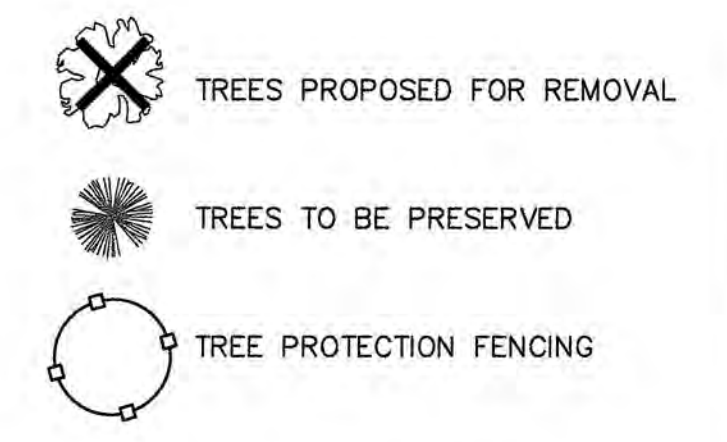
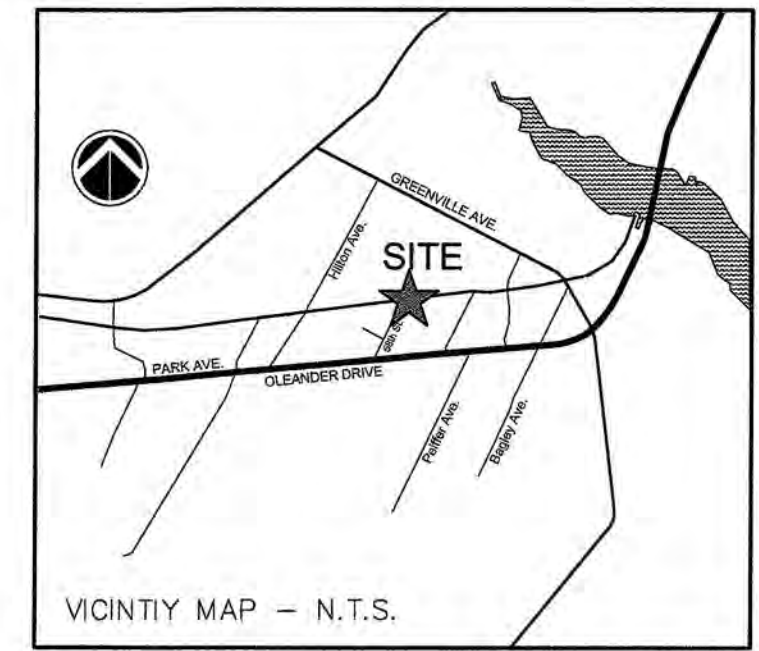
**Proposed Significant Trees to be Removed**

Tree Name	# of Trees	DBH	% Mitigation	Total DBH
Pecan		28	75	21
<b>Total DBH of Removed Significant Trees</b>				<b>= 21"</b>
<b>Total Trees Req. for Mitigation</b>	<b>3</b>			<b>= 14</b>

**Sec. 18-460 Mitigation: Significant trees.** The total number of replacement trees shall be determined by multiplying the total DBH of the removed significant trees by two (2) times the percentage for the type of tree in Table IV and dividing by three (3).

**Credit for Preserved Trees (Sec. 18-448 Table 1)**

# of Preserved Trees	Size (DBH)	Credit Given	Resulting Credit
1	6-11"	2	2
5	12-17"	3	15
3	18-23"	4	12
0	>24"	= (DBH/6)	0
<b>Total resulting Credit for 9 Preserved Trees</b>			<b>= 29</b>



**REQUIRED MITIGATION TREES**

REGULATED TREES IN FOOTPRINT	=	67
SIGNIFICANT TREES	=	14
<b>TOTAL COMBINED MITIGATION</b>	<b>=</b>	<b>81</b>
PRESERVED TREE CREDIT	=	-29
<b>RESULTING MITIGATION REQUIRED</b>	<b>=</b>	<b>52</b>

**NOTE:**  
BLDG. FOOTPRINT EXCEEDS 25% OF THE ENTIRE PROPERTY AREA. REGULATED TREES WITHIN BLDG. FOOTPRINT ARE NOT EXEMPT FROM MITIGATION.  
\* ALL 30 NEW TREE PLANTINGS (MINUS 4 TREES IN PARKING ISLANDS) ARE TO BE CREDITED TOWARD REQUIRED TREE MITIGATION (52 TREES).

**REQUIRED MITIGATION TREES**

REGULATED TREES IN FOOTPRINT	=	67
SIGNIFICANT TREES	=	14
<b>TOTAL COMBINED MITIGATION</b>	<b>=</b>	<b>81</b>
PRESERVED TREE CREDIT	=	-29
ADD'L LANDSCAPING TREES	=	-20
<b>RESULTING MITIGATION REQUIRED</b>	<b>=</b>	<b>32</b>

**TREES TO COUNT TOWARD MITIGATION. NOT PLANTED AS A LANDSCAPE REQUIREMENT**

Bald Cypress (1d)	4
Crape Myrtle (1d)	2
Eastern Redbud (1d)	4
Little Gem Magnolia (3d)	9 (3)
American Hornbeam (1d)	4
Crimson Spire Oak (1d)	3
<b>TREES PROV. FOR MIT.</b>	<b>20</b>
32 REMAINING TREES WILL SATISFY THROUGH PAYMENT-IN-LIEU (\$350 PER TREE).	
TOTAL P/L FEE TO BE MET = \$11,200.00	

**Coastal Land Design, PLLC**  
Civil Engineering / Landscape Architecture  
Land Planning / Construction Management  
NCBELS Firm License P-0369  
P.O. Box 1172 Phone: 910-254-9333  
Wilmington, NC 28402 Fax: 910-254-0502  
www.cldng.com

**The Lofts at Park Ave.  
Wilmington, NC  
TREE REMOVAL  
PERMIT PLAN**

REV	DATE	DESCRIPTION
E	12/4/19	SIGNATURE SET
D	12/4/19	MITIGATION CHANGES FOR REV.
C	11/19/19	4th TRC REVIEW
B	9/17/19	REVISE TREE MITIGATION CALCS.
A	5/17/19	INITIAL TRC REVIEW
		INIT

TC Ivey Properties, LLC  
1308 Bayside Circle  
Wilmington, NC 28405

Seal Redaction

APPROVED:	JP	PROJECT:	135-04
CHECKED:	FB	SCALE:	1"=20'
DESIGNED:	NA	RELEASE:	AIN

SHEET  
**TR-1**

WILMINGTON  
Approved Construction Plan  
None Date  
Planning: Nicole Demith 12/10/19  
Traffic: W. Smith 12-9-19  
Fire: James Marshall 12-9-19

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

WILMINGTON  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN  
Date: 12-9-19 Permit # 2019065  
Signed: E. Coe

**BEFORE YOU DIG, CALL**  
North Carolina 811  
www.nc811.org

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to excavation and/or project acceptance.